

Quible

Quible & Associates, P.C.

ENGINEERING • ENVIRONMENTAL SCIENCES • PLANNING • SURVEYING
SINCE 1959

P.O. Drawer 870
Kitty Hawk, NC 27949
Phone: 252-491-8147
Fax: 252-491-8146
web: quible.com

August 2, 2016

Ms. Jennie Turner
Currituck County Planning &
Community Development
153 Courthouse Rd.
Currituck, NC 27929

Re: **Whalehead Club – HCP
Restroom Facility**
Parcel Identification No. 9943-29-6924
Corolla, Currituck County, North Carolina

Dear Ms. Turner:

On behalf of Currituck County Public Works, Quible & Associates, P.C. hereby submit for your review the enclosed application package for the The Whalehead Club at Historic Corolla Park Major Site Plan Application. Enclosed in this package, please find the following:

- Five (5) copies of each:
 - Major Site Plan Submittal Checklist;
 - 24"x36" Full Size Plan Set.

- One (1) copy of each:
 - Existing Low Density Stormwater Permit SW7010804;
 - Water - Commitment to Serve Letter;
 - 24"x36" Proposed Conceptual Building Plans;
 - CD containing pdf copy of the Major Subdivision Plan Application package.

Please review the attached application and do not hesitate to contact Michael W. Strader, Jr., PE, or myself at 252.491.8147 if you have any questions, comments or requests for additional information.

Sincerely,

Quible & Associates, P.C.



Cathleen M. Saunders, P.E.

encl.: as stated



Major Subdivision Application

OFFICIAL USE ONLY:

Case Number: _____
Date Filed: _____
Gate Keeper: _____
Amount Paid: _____

Contact Information

APPLICANT:

Name: TURNPIKE PROPERTIES, LLC
Address: 1100C S. STRATFORD ROAD
SUITE 300
Telephone: 336-722-2236
E-Mail Address: _____

PROPERTY OWNER:

Name: TURNPIKE PROPERTIES, LLC
Address: 1100C S. STRATFORD ROAD
SUITE 300
Telephone: 336-722-2236
E-Mail Address: _____

LEGAL RELATIONSHIP OF APPLICANT TO PROPERTY OWNER: same

Request

Physical Street Address: OCEAN TRAIL AND OLD STONEY ROAD

Parcel Identification Number(s): 9943-44-3307

Subdivision Name: PINE ISLAND PUD, NORTHWESTERN MOST PORTION OF THE PUD

Number of Lots or Units: 340 UNITS

Phase: 1 - COMMERCIAL

TYPE OF SUBMITTAL

- Conservation and Development Plan
- Amended Sketch Plan/Use Permit
- Preliminary Plat (or amended)
 Type I OR Type II
- Construction Drawings (or amended)
- Final Plat (or amended)

TYPE OF SUBDIVISION

- Traditional Development
- Conservation Subdivision
- Planned Unit Development
- Planned Development

I hereby authorize county officials to enter my property for purposes of determining compliance with all applicable standards. All information submitted and required as part of this process shall become public record.

Property Owner(s)/Applicant*

7/27/16
Date

***NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.**

Community Meeting, if applicable

Date Meeting Held: June 27th, 2016 at 10am Meeting Location: Corolla Library

Purpose of the Use Permit and Project Narrative (please provide on additional paper if needed): _____
This Use Permit is being submitted to amend the existing Pine Island PUD to allow for an additional 4.5 acres of commercial development. Upon approval of this Use Permit, an additional 4.5 acres of commercial development allocation will have become "unlocked", and open space (37.57%) will still exceed the minimum amount required in the transitional provisions (35%), leaving approximately 9 acres of undeveloped property by right.

The applicant shall provide a response to the each one of the following issues. The Board of Commissioners must provide specific findings of fact based on the evidence submitted. All findings shall be made in the affirmative for the Board of Commissioners to issue the use permit.

A. The use will not endanger the public health or safety.

The proposed use will not materially endanger the public health or safety and conforms to adjacent land uses. Appropriate consideration to these components will be given during the site plan design. The proposed commercial development is intended to be served via the existing roadway and adjacent utilities.

B. The use will not injure the value of adjoining or abutting lands and will be in harmony with the area in which it is located.

The proposed use will not injure the values of adjoining or abutting properties and will compliment the adjoining existing uses. The commercial use will blend in well between The Currituck Club commercial and the municipal services to the south.

C. The use will be in conformity with the Land Use Plan or other officially adopted plan.

The proposed use is in general conformance with the County's Land Use Plan, current UDO, and the latest approved sketch plan. The proposed uses are within the PUD, meet the UDO's Bulk & Dimensional standards as specified in the Transitional Provisions in Chapter 1, and match the County's Future Land Use Plan

D. The use will not exceed the county's ability to provide adequate public facilities, including, but not limited to, schools, fire and rescue, law enforcement, and other county facilities. Applicable state standards and guidelines shall be followed for determining when public facilities are adequate.

The proposed use will not exceed the County's ability to provide adequate public facilities. utility services are proposed for the site, wastewater capacity is available, and on-site stormwater management is proposed to address additional runoff.

I, the undersigned, do certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief. Further, I hereby authorize county officials to enter my property for purposes of determining zoning compliance. All information submitted and required as part of this application process shall become public record.


Property Owner(s)/Applicant*

7/27/16

Date

***NOTE: Form must be signed by the owner(s) of record, contract purchaser(s), or other person(s) having a recognized property interest. If there are multiple property owners/applicants a signature is required for each.**

Use Permit Conceptual Plan Design Standards Checklist

The table below depicts the design standards of the use permit application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Use Permit

Conceptual Plan Design Standards Checklist

Date Received: _____

TRC Date: _____

Project Name: _____

Applicant/Property Owner: _____

Use Permit Conceptual Plan Design Standards Checklist		
1	Property owner name, address, phone number, and e-mail address.	
2	Site address and parcel identification number.	
3	North arrow and scale to be 1" = 100' or larger.	
4	Vicinity map showing property's general location in relation to streets, railroads, and waterways.	
5	Existing zoning classification and zoning setback lines of the property.	
6	A scaled drawing showing existing boundary lines, total acreage, adjacent use types, location of streets, rights-of-way, and easements.	
7	Approximate location of the following existing site features and infrastructure within the property and within 50' of the existing property lines: Pedestrian circulation, vehicular use areas, structures, septic systems, wells, utility lines, water lines, culverts, storm drainage pipes, ditches, canals, streams, wooded areas, ponds, and cemeteries.	
8	Approximate location of the following proposed site features and infrastructure: Structures and usages, parking and circulation plan (including streets, drives, loading and service areas parking layout and pedestrian circulation features), fences and walls, exterior lighting, drainage patterns and facilities intended to serve the development, landscape buffers and screening, and riparian buffers.	n/a
9	Approximate Flood Zone line and Base Flood Elevation as delineated on the "Flood Insurance Rate Maps/Study Currituck County."	
10	Approximate location of all designated Areas of Environmental Concern or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	
11	Sight distance triangles.	n/a
12	Proposed common areas, open space set-asides, and required buffers.	
13	Architectural drawings and/or sketches illustrating the design and character of the proposed uses.	n/a

Major Site Plan Design Standards Checklist

The table below depicts the design standards of the major site plan application. Please make sure to include all applicable listed items to ensure all appropriate standards are reviewed.

Major Site Plan Design Standards Checklist

Date Received: _____

TRC Date: _____

Project Name: _____

Applicant/Property Owner: _____

Site Plan Design Standards Checklist		
General		
1	Property owner name, address, phone number, and e-mail address.	
2	Site address and parcel identification number.	
3	North arrow and scale to be 1" = 100' or larger.	
4	Vicinity map showing property's general location in relation to streets, railroads, and waterways.	
5	Existing zoning classification and zoning setback lines of the property.	
6	Scaled drawing showing existing and proposed site features : Property lines, acreage, adjacent use types, streets (right-of-ways), easements, buildings and accessory structures (including square feet and use), parking layout, vehicular use areas, driveways (including opposing driveways), loading spaces, refuse collection facilities (dumpsters), outdoor storage areas, ground based utility equipment, fences and walls, and sidewalks and pedestrian circulation. And location and size of existing and proposed infrastructure : Water mains (including and water taps), water meter details, backflow prevention details, wells, sewer mains or on-site septic systems (including repair area), electrical service, fire hydrants, detail of fire apparatus access to buildings, and any other public utility within all adjacent public right-of-ways and easements.	
7	Approximate location of all designated Areas of Environmental Concern or other such areas which are environmentally sensitive on the property, such as Maritime Forest, CAMA, 404, or 401 wetlands as defined by the appropriate agency.	
8	Sight distance triangles.	N/A
9	Proposed common areas, open space set-asides, and required buffers.	
Landscape Plan		
10	All existing and proposed planting areas and vegetation that will be used to comply with the landscaping requirements, including the species, caliper, and spacing of all vegetation.	
11	Existing and proposed physical barriers to be used to comply with the bufferyard and screening requirements.	
12	Heritage tree inventory and proposed tree protection zones.	N/A
13	Adjoining property lines, zoning, and names and address of adjoining property owners.	
Exterior Lighting Plan		
14	Location, height, and type of all proposed exterior lighting including but not limited to site, street, building, and security lighting.	N/A
15	Footcandle measurements of the entire site including lot lines, or light fixture documentation when minimal lighting is proposed.	N/A
Major Stormwater Management Plan		
16	Major Stormwater Plan and From SW-002	N/A

Architectural Elevations		
17	Architectural drawings and/or sketches illustrating the design, character, height, and materials of the proposed buildings.	
Flood Damage Prevention, if Applicable		
18	Proposed elevation of all structures and utilities.	
19	Location, dimensions, and use of: Development and disturbance, existing and proposed structures and utility systems grading and pavement areas, fill materials, storage areas, drainage facilities, and other development.	
20	Boundary of Special Flood Hazard Area (SFHA), floodway, Coastal Barrier Resource System (CBRS) Area, water course relocation, or a statement that the entire lot is within a specific SFHA.	
21	Flood zone designation as determined on the County's Flood Insurance Rate Maps (FIRM).	
22	Design Flood Elevation (Base Flood Elevation plus one foot freeboard).	
23	Plans and/or details for the protection of public facilities and utilities (sewer, gas, electrical, and water systems) from inundation of flood waters up to Design Flood Elevation.	
24	Water course alteration or relocation: Description of alteration or relocation, report on effects of proposed project on the flood carrying capacity of the water course, and effects to properties located up and downstream.	N/A
25	Fill – plans for non-structural fill (if being utilized in VE zone).	N/A

Major Site Plan Submittal Checklist

Staff will use the following checklist to determine the completeness of your application within ten business days of submittal. Please make sure all of the listed items are included. Staff shall not process an application for further review until it is determined to be complete.

Major Site Plan Submittal Checklist

Date Received: _____

TRC Date: _____

Project Name: _____

Applicant/Property Owner: _____

Major Site Plan Submittal Checklist		
1	Complete Major Site Plan application	
2	Application fee (\$.02 per square foot of gross floor area or \$50 minimum)	
3	Site plan	
4	Landscape plan	N/A
5	Exterior Lighting plan	N/A
6	Major Stormwater Management plan and Form SW-002	N/A
7	Architectural elevations, if applicable	
8	ARHS Construction Improvements Permit or letter of commitment from centralized sewer provider.	
9	NCDENR, DWQ stormwater permit application (if 10,000sf or more of built upon area).	**
10	NCDENR, Land Quality, Erosion and Sedimentation Control permit application (if one acre or more of land disturbance).	N/A
11	NCDOT Street and Driveway Access Permit Application and Encroachment Agreement	N/A
12	5 copies of plans	
13	5 hard copies of ALL documents	
14	1 PDF digital copy of all plans AND documents (ex. Compact Disk – e-mail not acceptable)	

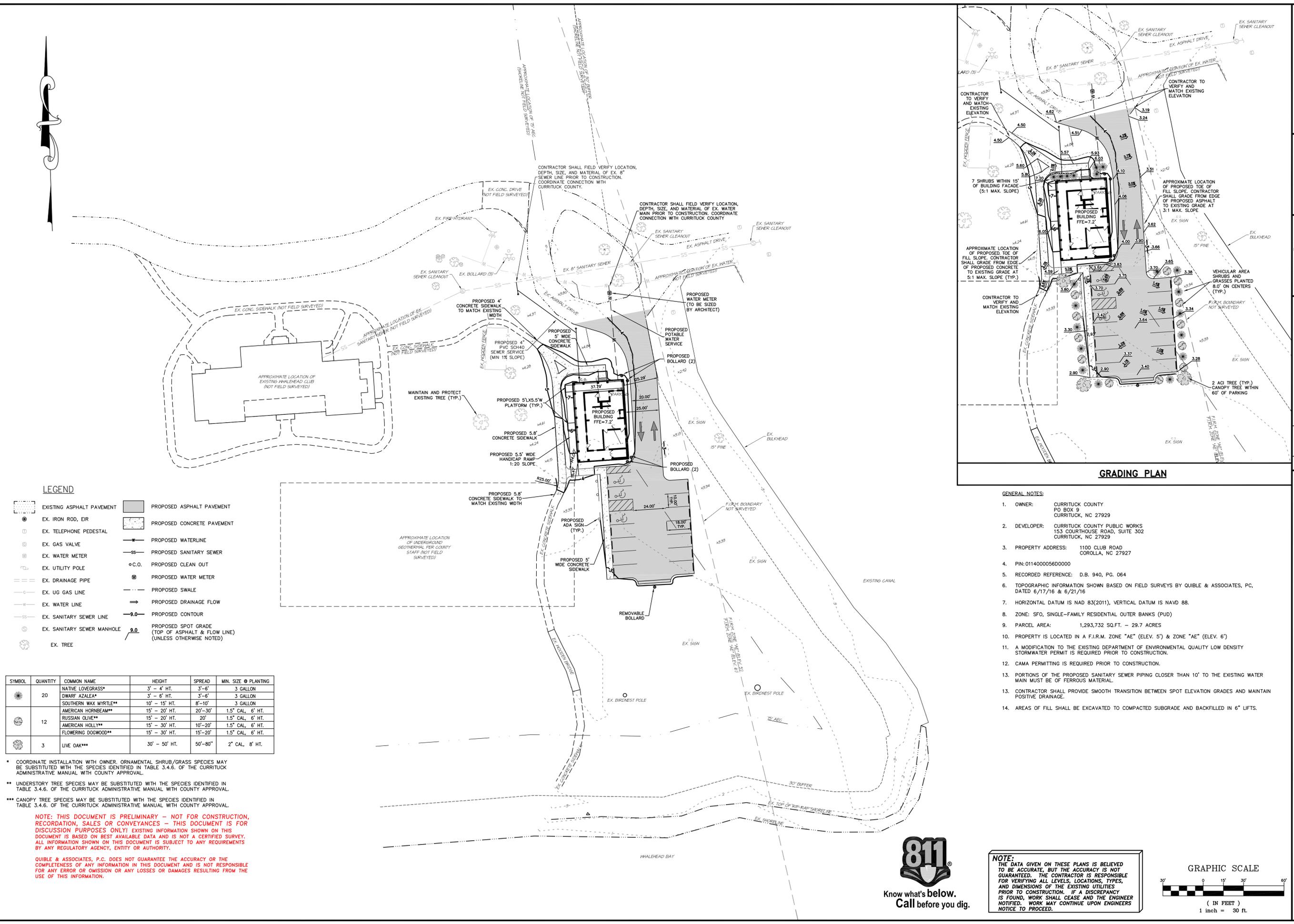
**Modification to the existing LD Stormwater permit to be applied for

For Staff Only

Pre-application Conference

Pre-application Conference was held on _____ and the following people were present:

Comments



LEGEND

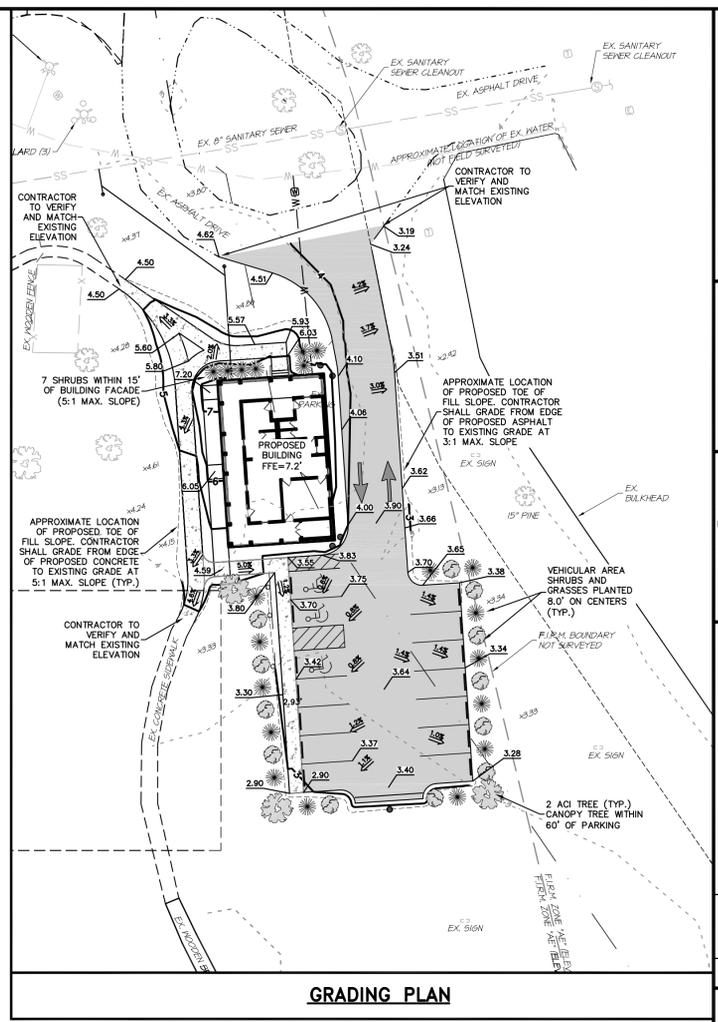
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EX. IRON ROD, EIR
- PROPOSED CONCRETE PAVEMENT
- EX. TELEPHONE PEDESTAL
- PROPOSED WATERLINE
- EX. GAS VALVE
- PROPOSED SANITARY SEWER
- EX. WATER METER
- PROPOSED CLEAN OUT
- EX. UTILITY POLE
- PROPOSED WATER METER
- EX. DRAINAGE PIPE
- PROPOSED SWALE
- EX. UG GAS LINE
- PROPOSED DRAINAGE FLOW
- EX. WATER LINE
- PROPOSED CONTOUR
- EX. SANITARY SEWER LINE
- PROPOSED SPOT GRADE (TOP OF ASPHALT & FLOW LINE) (UNLESS OTHERWISE NOTED)
- EX. SANITARY SEWER MANHOLE
- EX. TREE

SYMBOL	QUANTITY	COMMON NAME	HEIGHT	SPREAD	MIN. SIZE @ PLANTING
	20	NATIVE LOVEGRASS*	3' - 4' HT.	3'-6"	3 GALLON
		DWARF AZALEA*	3' - 6' HT.	3'-6"	3 GALLON
		SOUTHERN WAX MYRTLE**	10' - 15' HT.	8'-10"	3 GALLON
	12	AMERICAN HORNBAM**	15' - 20' HT.	20'-30'	1.5" CAL. 6' HT.
		RUSSIAN OLIVE**	15' - 20' HT.	20'	1.5" CAL. 6' HT.
		AMERICAN HOLLY**	15' - 30' HT.	10'-20'	1.5" CAL. 6' HT.
		FLOWERING DOGWOOD**	15' - 30' HT.	15'-20'	1.5" CAL. 6' HT.
	3	LIVE OAK***	30' - 50' HT.	50'-80"	2" CAL. 8' HT.

- * COORDINATE INSTALLATION WITH OWNER. ORNAMENTAL SHRUB/GRASS SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
- ** UNDERSTORY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.
- *** CANOPY TREE SPECIES MAY BE SUBSTITUTED WITH THE SPECIES IDENTIFIED IN TABLE 3.4.6. OF THE CURRITUCK ADMINISTRATIVE MANUAL WITH COUNTY APPROVAL.

NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT IS BASED ON BEST AVAILABLE DATA AND IS NOT A CERTIFIED SURVEY. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.

QUIBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

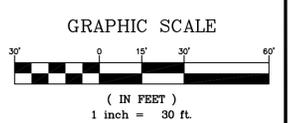


GRADING PLAN

- GENERAL NOTES:**
- OWNER: CURRITUCK COUNTY
PO BOX 9
CURRITUCK, NC 27929
 - DEVELOPER: CURRITUCK COUNTY PUBLIC WORKS
153 COURTHOUSE ROAD, SUITE 302
CURRITUCK, NC 27929
 - PROPERTY ADDRESS: 1100 CLUB ROAD
COROLLA, NC 27927
 - PIN: 011400056D0000
 - RECORDED REFERENCE: D.B. 940, PG. 064
 - TOPOGRAPHIC INFORMATION SHOWN BASED ON FIELD SURVEYS BY QUIBLE & ASSOCIATES, P.C. DATED 6/17/16 & 6/21/16
 - HORIZONTAL DATUM IS NAD 83(2011), VERTICAL DATUM IS NAVD 88.
 - ZONE: SFO, SINGLE-FAMILY RESIDENTIAL OUTER BANKS (PUD)
 - PARCEL AREA: 1,293,732 SQ.FT. - 29.7 ACRES
 - PROPERTY IS LOCATED IN A F.I.R.M. ZONE "AE" (ELEV. 5') & ZONE "AE" (ELEV. 6')
 - A MODIFICATION TO THE EXISTING DEPARTMENT OF ENVIRONMENTAL QUALITY LOW DENSITY STORMWATER PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
 - CAMA PERMITTING IS REQUIRED PRIOR TO CONSTRUCTION.
 - PORTIONS OF THE PROPOSED SANITARY SEWER PIPING CLOSER THAN 10' TO THE EXISTING WATER MAIN MUST BE OF FERROUS MATERIAL.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
 - AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.



NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



Quible & Associates, P.C.
SINCE 1959
ENGINEERING • CONSULTING • PLANNING
ENVIRONMENTAL SCIENCES • SURVEYING
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NO.	DATE	REVISIONS

SITE PLAN

WHALEHEAD CLUB HCP RESTROOM FACILITY

COROLLA NORTH CAROLINA
CURRITUCK COUNTY

COMMISSION NO. **P98003.1**

DESIGNED BY **CMS**

DRAWN BY **CMS**

CHECKED BY **MWS**

ISSUE DATE **8/2/16**

SHEET NO. **2** OF 3 SHEETS

COUNTY OF Currituck
Maple, NORTH CAROLINA 27956



PATRICK IRWIN
Public Utilities Director

444 Maple Road
Phone: (252) 232-6061
Fax: (252) 453-3721
E-mail: pat.irwin@currituckcountync.gov

August 1, 2016

Ms. Cathleen M. Saunders, P.E.
Project Manager
Quible & Associates, P.C.
P.O. Drawer 870
Kitty Hawk, NC 27949

RE: Commitment to Serve Letter for Whalehead HCP Restroom Facility

Ms. Saunders:

The Southern Outer Banks Water System will commit to serve the Whalehead HCP Restroom Facility when all fees are paid to the system and approved by the Currituck County Utilities Department.

Sincerely,

Patrick Irwin
Public Utilities Director
Currituck County

/pi

cc: Eric Weatherly, County Engineer
Benjamin Carawan, SOBWS Superintendent



Michael F. Easley
Governor

William G. Ross Jr., Secretary
Department of Environment and Natural Resources

Gregory J. Thorpe, Ph.D., Acting Director
Division of Water Quality

DIVISION OF WATER QUALITY
October 12, 2001

*Roger Thorpe emailed 4/25/2016
re latest permit.
stated replaced SW 7010517
which formerly replaced SW 7000316.
SW 714081 + SW 7090322
were both exemptions.*

County of Currituck
Attn: Mr. Bill Richardson
P.O. Box 39
Currituck, NC 27929

Subject: Stormwater Permit No. SW7010804
Whalehead Club Restoration
New Education Center
Low Density Stormwater Project
Currituck County

Dear: Mr. Richardson:

The Washington Regional Office received the completed Stormwater Application for the subject project on September 25, 2001. Staff review of the plans and specifications has determined that the project, as proposed, will comply with the Stormwater Regulations set forth in Title 15A NCAC 2H.1000. We are forwarding Permit No. SW7010804 dated October 12, 2001 to Currituck County.

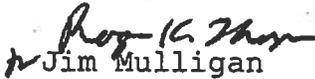
This permit replaces Stormwater Permit SW7010517, and shall be effective from the date of issuance until rescinded and shall be subject to the conditions and limitations as specified therein.

If any parts, requirements, or limitations contained in this permit are unacceptable, you have the right to request an adjudicatory hearing upon written request within thirty (30) days following receipt of this permit. This request must be in the form of a written petition, conforming to Chapter 150B of the North Carolina General Statutes, and filed with the Office of Administrative Hearings, P.O. Drawer 27447, Raleigh, NC 27611-7447. Unless such demands are made this permit shall be final and binding.

County of Currituck
October 12, 2001
Page Two

If you have any questions, or need additional information concerning this matter, please contact Bill Moore at (252) 946-6481, extension 264.

Sincerely,


Jim Mulligan

Water Quality Regional Supervisor
Washington Regional Office

cc: Doug Huggett - DCM, Raleigh
Quible & Associates
Currituck County Inspections
Washington Regional Office
Central Files

**STATE OF NORTH CAROLINA
DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES
DIVISION OF WATER QUALITY**

STATE STORMWATER MANAGEMENT PERMIT

LOW DENSITY DEVELOPMENT

In accordance with the provisions of Article 21 of Chapter 143, General Statutes of North Carolina as amended, and other applicable Laws, Rules and Regulations

PERMISSION IS HEREBY GRANTED TO

County of Currituck

Currituck County

FOR THE

construction, operation and maintenance of stormwater management systems in compliance with the provisions of 15A NCAC 2H.1000 (hereafter referred to as the "stormwater rules") and the approved stormwater management plans and specifications, and other supporting data as attached and on file with and approved by the Division of Water Quality and considered a part of this permit for grass swales and buffers to serve the Whalehead Club and New Education Center located at Corolla, NC.

The Permit replaces Stormwater Permit SW7010517, and shall be effective from the date of issuance until rescinded and shall be subject to the following specific conditions and limitations:

I. DESIGN STANDARDS

1. The following criteria are approved as meeting the stormwater rules for this project:
 - a. The total area for this project is 34.06 acres.
 - b. Total impervious area for this project site is 2.37 existing and 2.86 acres for the New Education Center.
 - c. Total number of lots is one.
 - d. Allowable built-upon area must be consistent with proposed restrictions submitted in the application by the permittee.

2. The overall tract built-upon area percentage or lot sizes for the project must be maintained at levels at least as stringent as the low density levels specified in the stormwater rules.
3. The development must demonstrate that no areas within the project site are of such high density that stormwater runoff threatens water quality.
4. Approved plans and specifications for projects covered by this permit are incorporated by reference and are enforceable parts of the permit.
5. The only runoff conveyance systems allowed will be vegetated conveyances such as swales with minimum side slopes of 3:1 (H:V) or curb outlet systems as defined in the stormwater rules and approved by the Division.
6. No piping shall be allowed except:
 - a. That minimum amount necessary to direct runoff beneath an impervious surface such as a road
 - b. That minimum amount needed for driveway access to lots.
7. Projects covered by this permit will maintain a minimum 30 foot wide vegetative buffer between all impervious areas and surface waters. In addition, projects in the Neuse and Tar-Pamlico River Basins must comply with the Riparian Buffer Rules.
8. No homeowner/lot owner/developer shall be allowed to fill in, alter, or pipe any vegetative practices (such as swales) shown on the approved plans as part of the stormwater management system without submitting a revision to the permit and receiving approval from the Division.
9. Deed restrictions are incorporated into this permit by reference and must be recorded with the Office of Register of Deeds. A copy of the recorded restrictions must be received by this Office within 30 days of the date of recording. Recorded deed restrictions must include, as a minimum, the following statements related to stormwater management:
 - a. A statement of the allowable built-upon area per lot in the following form:

"The allowable built-upon area shall not exceed 5.23 acres, inclusive of that portion of the right-of-way between the front lot line and the edge of the pavement, structures, pavement, walkways of brick, stone, slate, not including wood decking."

- b. Items related to stormwater management must remain in the deed restriction, and this is to be indicated by including the following: "The covenants pertaining to stormwater regulations may not be changed or deleted without concurrence of the State."
 - c. To assure that vegetated conveyances are not piped (in accordance with item 5) deed restrictions must indicate that: "Filling in or piping of any vegetative conveyances (ditches, swales, etc.) associated with the development except for average driveway crossings, is strictly prohibited by any persons."
10. The Engineer/Owner/Developer/Permittee must certify in writing that the project's stormwater controls, and impervious surfaces have been constructed within substantial intent of the approved plans and specifications.
11. The following items will require a modification to the permit:
- a. Any revision to the approved plans, regardless of size
 - b. Project name change
 - c. Change of ownership
 - d. Redesign or addition to the approved amount of built-upon area
 - e. Further subdivision of the project area.

In addition, the Director may determine that other revisions to the project should require a modification to the permit.

12. The Director may notify the permittee when the permitted site does not meet one or more of the minimum requirements of the permit. Within the time frame specified in the notice, the permittee shall submit a written time schedule to the Director for modifying the site to meet minimum requirements. The permittee shall provide copies of revised plans and certification in writing to the Director that the changes have been made.

II. SCHEDULE OF COMPLIANCE

1. The permittee shall comply with the following schedule for construction and maintenance of the Low Density Option stormwater systems:
- a. Swales and other vegetated conveyances shall be constructed in their entirety, vegetated, and be

operational for their intended use prior to the construction of any built-upon surface except roads.

- b. During construction, erosion shall be kept to a minimum and any eroded areas of the swales or other vegetated conveyances will be repaired immediately.
2. The permittee shall at all times provide the operation and maintenance necessary to operate the permitted stormwater management systems at optimum efficiency to include:
 - a. Inspections
 - b. Sediment removal
 - c. Mowing, and revegetating of the side slopes
 - d. Immediate repair of eroded areas
 - e. Maintenance of side slopes in accordance with approved plans and specifications.
 3. The permittee shall submit recorded deed restrictions limiting built-upon area per lot in accordance with Part I, item 9, within 30 days of the date of recording.
 4. The Permittee shall submit the Engineer/Owner/Designer/ Permittee Certification in accordance with Part I, item 10, within 30 days of completion of the project.
 5. The permittee shall submit all information requested by the Director or his representative within the time frame specified in the written information request.

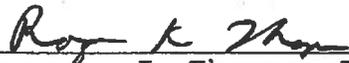
III. GENERAL CONDITIONS

1. Failure to abide by the conditions and limitations contained in this permit may subject the Permittee to an enforcement action by the Division of Water Quality, in accordance with North Carolina General Statutes 143-215.6A to 143-215.6C.
2. The permit issued shall continue in force and effect until revoked or terminated.
3. The permit may be modified, revoked and reissued or terminated for cause. The filing of a request for a permit modification, revocation and reissuance, or termination does not stay any permit condition.

4. The issuance of this permit does not prohibit the Director from reopening and modifying the permit, revoking and reissuing the permit, or terminating the permit as allowed by the laws, rules and regulations contained in Title 15A of the North Carolina Administrative Code, Subchapter 2H.1000; and North Carolina General Statute 143-215.1 et.al.
5. The permittee shall submit to the Director and shall have received approval for revised plans, specifications, and calculations prior to construction, for those revisions under any of the following conditions:
 - a. Any additions, deletions or redesign of the previously permitted amount of built-upon area proposed regardless of the size of the modification.
 - b. Further subdivision of the project area.
6. The permit is not transferable to any person except after notice to and approval by the Director. The Director may require modification or revocation and reissuance of the permit to change the name and incorporate such other requirements as may be necessary. A formal permit request must be submitted to the Division of Water Quality accompanied by the appropriate fee, documentation from both parties involved, and other supporting materials as may be appropriate. The approval of this request will be considered on its merits, and may or may not be approved.
7. The issuance of this permit does not preclude the Permittee from complying with any and all statutes, rules, regulations, or ordinances which may be imposed by other government agencies (local, state and federal) which have jurisdiction.

Permit issued this the 12 th day of October, 2001.

NORTH CAROLINA ENVIRONMENTAL MANAGEMENT COMMISSION



Gregory J. Thorpe, Ph.D., Acting Director
Division of Water Quality
By Authority of the Environmental Management Commission

Permit Number SW7010804



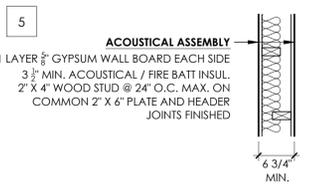
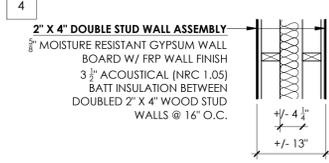
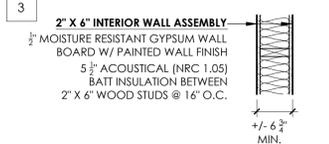
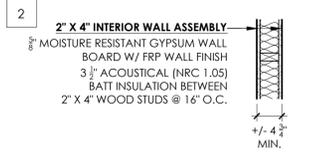
GENERAL NOTES:

1. INSPECT AND VERIFY ALL DIMENSIONS ON THE PROJECT AND SITE AS MAY RELATE TO THE EXTENT OF CONSTRUCTION AND/OR DEMOLITION.
2. THE CONTRACTOR/OWNER SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS AS MAY BE REQUIRED TO PROCEED WITH DEMOLITION AND CONSTRUCTION.
3. ALL WORK PERFORMED SHALL MEET ALL TOWN, COUNTY AND STATE CODES.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL DOOR/WINDOW ROUGH OPENINGS WITH DOOR MFG. SPEC.
6. CONTRACTOR TO USE TEMPERED GLASS IN ANY WINDOW OR DOOR THAT IS WITHIN 18" OF THE FINISHED FLOOR.
7. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND MECHANICAL WORK. ALL SUCH WORK MUST CONFORM TO NORTH CAROLINA CODES.
8. CONTRACTOR TO CONFIRM PLAN DIMENSIONS PRIOR TO CONSTRUCTION WITH EXISTING SITE CONSTRAINTS. CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT OF ANY PROBLEMS PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL MANUALS AND MAINTENANCE INFORMATION BEFORE THE FINAL PAYMENT. THE CONTRACTOR SHALL WARRANT THE WORK FOR THE PERIOD OF ONE YEAR.
10. SEE A1.1 FOR TYPICAL DETAILS, DOOR AND WINDOW TYPES.
11. ALL PILING SHALL BE AS DEEP AS REQUIRED TO MEET CODES. CONTRACTOR TO VERIFY IN THE FIELD

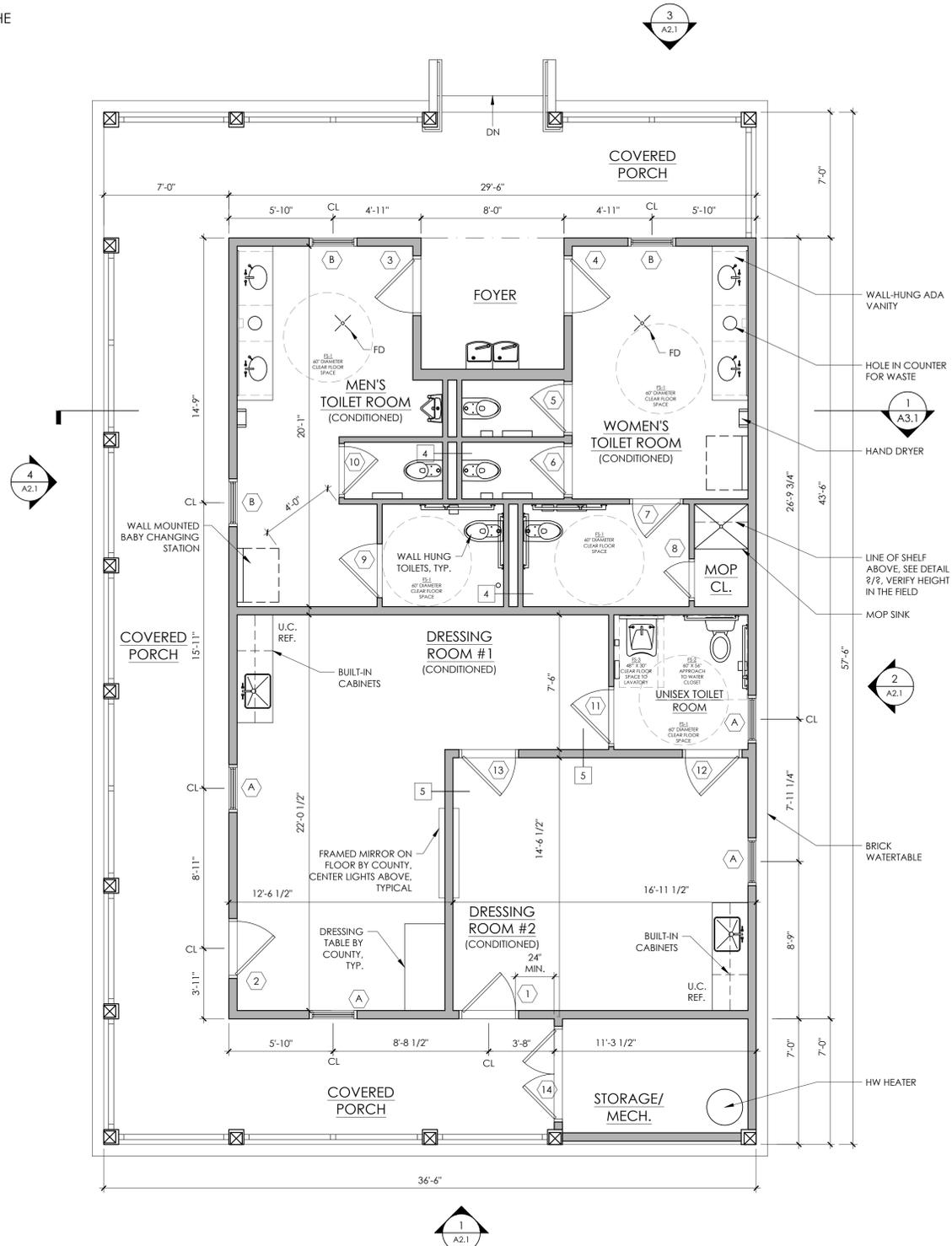
INTERIOR FINISH SCHEDULE							
ROOM NAME	FLOOR	BASE	WALL	FINISH	CEILING	FINISH	NOTES
MEN'S TOILET ROOM	CARPET	6" WOOD	GWB-SMOOTH	PTD-SATIN	BEAD BOARD	PTD-FLAT	TO MATCH HISTORIC SCHOOL
WOMEN'S TOILET ROOM	VCT	6" VINYL	GWB-SMOOTH	PTD-GLOSS	GWB-KNOCK DN.	PTD-FLAT	EPOXY PAINT
UNISEX TOILET ROOM							
DRESSING ROOM #1							
DRESSING ROOM #2							
MOP CLOSET							
STORAGE/MECHANICAL							

- NOTES:**
1. USE WATER RESISTANT GWG AT ALL WET LOCATIONS
 2. ARCHITECT TO SELECT FINAL COLORS IN THE FIELD

2 INTERIOR FINISH SCHEDULE NOT TO SCALE



2 WALL ASSEMBLIES NOT TO SCALE



1 FIRST FLOOR BUILDING PLAN SCALE: 1/4" = 1'-0"

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PME ENGINEER:
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 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454
 PH: (757) 499-7223

PROJECT NAME:
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 HISTORIC COROLLA PARK
 WHALEHEAD, NC

REVISIONS:	DATE:
WINDOW COORD.	7 / 13 /16
CLIENT REVIEW	7 / 20 /16
TRC SUBMITTAL	7 / 28 /16

DRAWING NAME:
FIRST FLOOR PLAN

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION:

DRAWN BY: CN

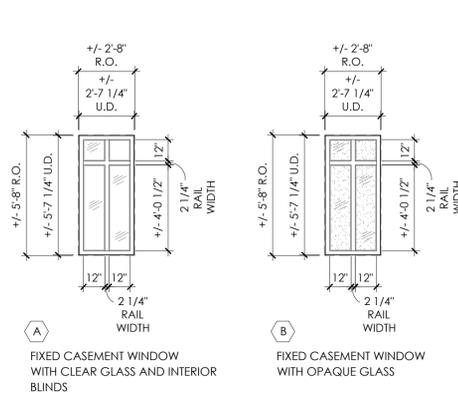
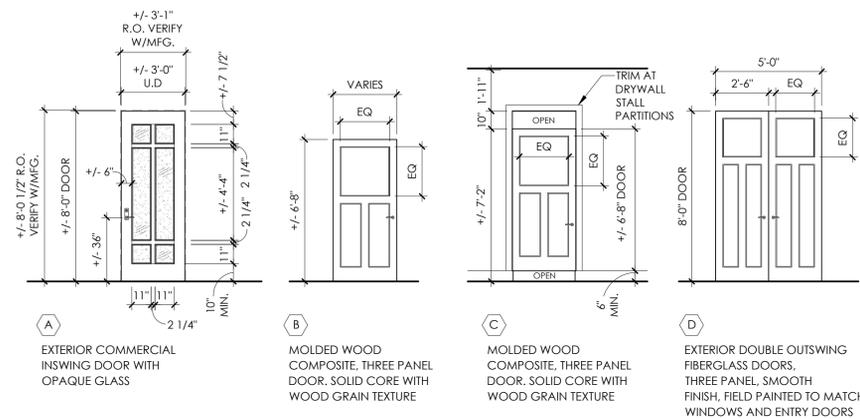
DATE: 7 / 28 /16

SCALE: -

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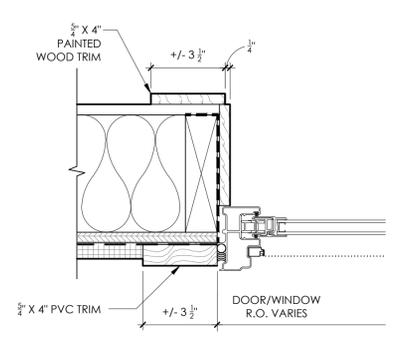
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SHEET:
A1.1



WINDOW NOTES:

1. MUNTINS AND PATTERNS ARE TO BE AS SHOWN ON WINDOW TYPES
2. SET ALL WINDOWS AT +/- 8'-0" A.F.F., U.O.N. TO MATCH DOOR HEIGHT.
3. ALL WINDOW SIZES ARE APPROXIMATE AND DO NOT REPRESENT ROUGH OPENING SIZES. ACTUAL SIZE MAY VARY DEPENDING UPON FINAL MANUFACTURER.
4. ALL WINDOWS TO BE DESIGNED FOR 120 MPH WIND VELOCITY (3 SEC. GUST). WINDOW ATTACHMENT TO WALL STUDS TO BE DESIGNED BY WINDOW MANUF. OR OTHERS. WINDOW CONFIGURATIONS TO BE VERIFIED FOR INTENDED USE IN HIGH WIND ZONES. WINDOW UNITS IN MULTIPLE CONFIGURATIONS TO BE SELF SUPPORTING. MULLIONS TO BE DESIGNED BY MANUFACTURER OR OTHERS. REFER TO NC STATE BUILDING CODE FOR REQUIRED DESIGN GLAZING PRESSURE. MEAN ROOF HEIGHT = +/- 22'-0"
5. EXTERIOR WINDOW COLOR TO BE BROWN, TO MATCH EXISTING BOAT HOUSE COLOR. GENERAL CONTRACTOR TO COORDINATE FINAL COLOR W/ARCHITCT PRIOR TO PURCHASE. SIMILAR TO ANDERSEN RED ROCK EXTERIOR FINISH.
6. INTERIOR WINDOW COLOR TO BE UNFINISHED WOOD PAINTED WHITE U.O.N.
7. GLAZING TO BE LOW-E TO MEET THE 2012 NC ENERGY CODE FOR COMMERCIAL CONSTRUCTION- U VALUES AND SHGC VALUES
8. WINDOWS ARE TO BE VINYL CLAD WOOD (OR WOOD EQUIVALENT).
9. WINDOWS TO HAVE PERMANENT FULL DIVIDE LITES WITH PERMANENT INTERIOR WITH SPACER.
10. ALL WINDOWS TO HAVE EXTENSION JAMBS AS REQUIRED TO MATCH 2" X 6" WALL CONSTRUCTION.
11. CONTRACTOR TO PROVIDE PRE-CUT PLYWOOD PANELS, PRE-DRILLED, NUMBERED AND WITH STAINLESS STEEL SCREWS STORED ON SITE FOR HURRICANE PREPARATION PER COUNTY REQUIREMENTS. COORDINATE WITH BUILDING INSPECTOR PRIOR TO FABRICATION.



DOOR SCHEDULE										
#	DOOR			FRAME			HARDWARE	NOTES		
	MATERIAL	TYPE	FINISH	WIDTH	HEIGHT	MATERIAL			FINISH	THRES/SILL
1	VINYL CLAD WOOD COMPOSITE	A	PAINTED	3'-0"	8'-0"	VINYL CLAD WOOD	PAINTED	ADA	1	GLASS ENTRY DOOR
2	VINYL CLAD WOOD COMPOSITE	A	PAINTED	3'-0"	8'-0"	VINYL CLAD WOOD	PAINTED	ADA	1	GLASS ENTRY DOOR
3	VINYL CLAD WOOD COMPOSITE	A	PAINTED	3'-0"	8'-0"	VINYL CLAD WOOD	PAINTED	ADA	1	GLASS ENTRY DOOR
4	VINYL CLAD WOOD COMPOSITE	A	PAINTED	3'-0"	8'-0"	VINYL CLAD WOOD	PAINTED	ADA	1	GLASS ENTRY DOOR
5	MOLDED WOOD COMPOSITE	C	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	N/A	2	HOLD OFF FLOOR
6	MOLDED WOOD COMPOSITE	C	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	N/A	2	HOLD OFF FLOOR
7	MOLDED WOOD COMPOSITE	C	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	N/A	2	HOLD OFF FLOOR
8	MOLDED WOOD COMPOSITE	B	PAINTED	2'-0"	6'-8"	WOOD	PAINTED	N/A	3	HOLD OFF FLOOR
9	MOLDED WOOD COMPOSITE	C	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	N/A	2	HOLD OFF FLOOR
10	MOLDED WOOD COMPOSITE	C	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	N/A	2	HOLD OFF FLOOR
11	MOLDED WOOD COMPOSITE	B	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	ADA	2	
12	MOLDED WOOD COMPOSITE	B	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	ADA	2	
13	MOLDED WOOD COMPOSITE	B	PAINTED	3'-0"	6'-8"	WOOD	PAINTED	ADA	3	KEYED SIDE IN DRESSING ROOM #1
14	FIBERGLASS	D	PAINTED	5'-0"	8'-0"	WOOD	PAINTED	N/A	3	

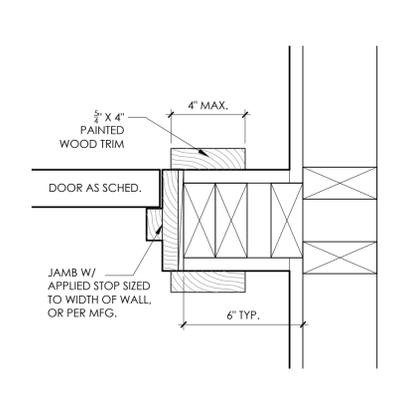
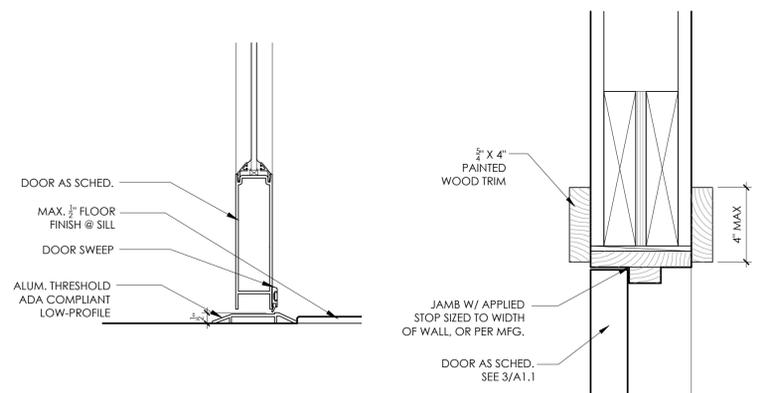
HARDWARE SETS:

- HARDWARE SET #1:** SINGLE-OPERATION LOCKSET AND DEADBOLT (INTER-CONNECTED TO DEADBOLT). ARCH TO REVIEW FINAL SPEC. IN THE FIELD PRIOR TO INSTALLATION. ADA APPROVED LEVER HANDLES WITH BRUSHED CHROME FINISH
- HARDWARE SET #2:** PRIVACY LOCKSET IN BRUSHED CHROME FINISH. NON-KEYED LOCKSET. LATCHBOLT OPERATED BY LEVER HANDLE FROM BOTH SIDES. EXCEPT WHEN OUTSIDE LEVER IS LOCKED BY INSIDE TURN BUTTON LOCK. LOCKING DEVICE SHALL AUTOMATICALLY RELEASE WHEN INSIDE HANDLE IS OPERATED.
- HARDWARE SET #3:** KEYED LOCKSET. DEADLOCKING LATCHBOLT OPERATED BY KEY IN OUTSIDE LEVER HANDLE. OR BY OPERATING INSIDE LEVER HANDLE.

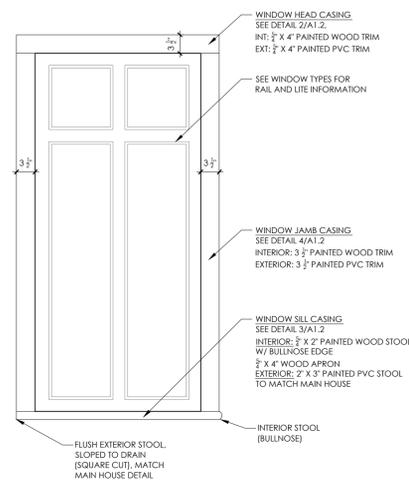
NOTES:

1. FOR INTERIOR DOORS, WIDTH AND HEIGHT VALUES REPRESENT ACTUAL DOOR SIZE AND NOT FRAME SIZE.
2. ALL FRAMES THAT ARE PART OF A RATED ASSEMBLY MUST BE RATED.
3. CONTRACTOR TO CONFIRM THE CORRECT "HAND" OF EACH DOOR PRIOR TO PURCHASING
4. ALL LOCKSETS AND LATCHSETS TO RECEIVE ADA APPROVED LEVER HANDLES.
5. ALL RATED DOORS TO HAVE CLOSERS.

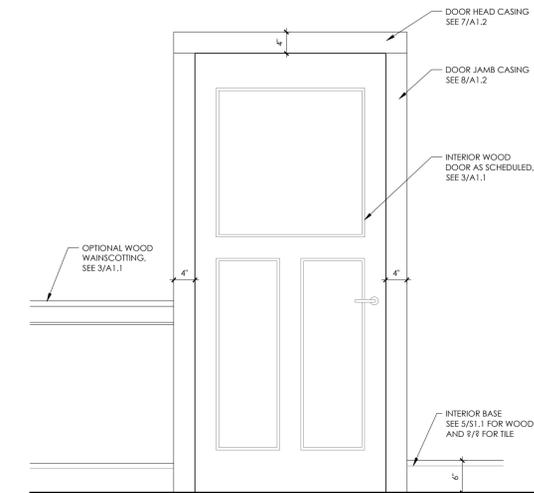
2 DOOR SCHEDULE
NOT TO SCALE



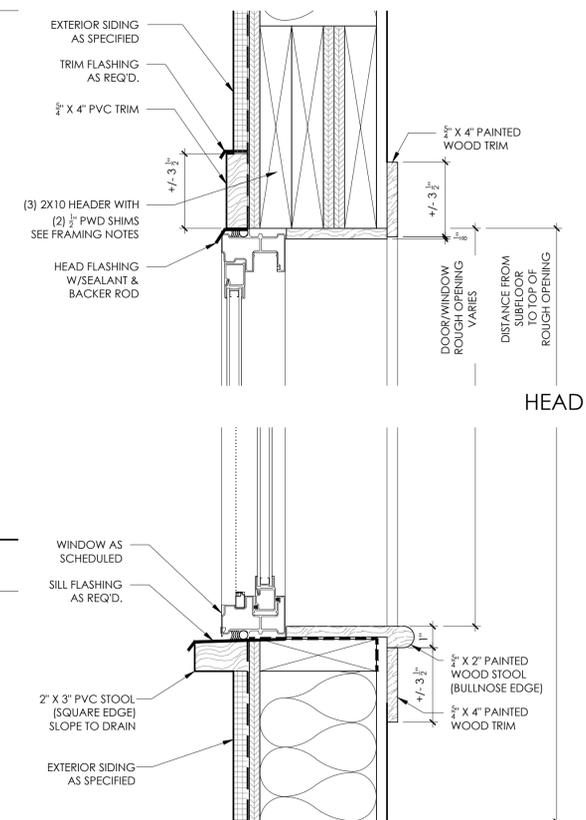
7 WINDOW ENLARGED TRIM ELEV.
SCALE: 3/4" = 1'-0"



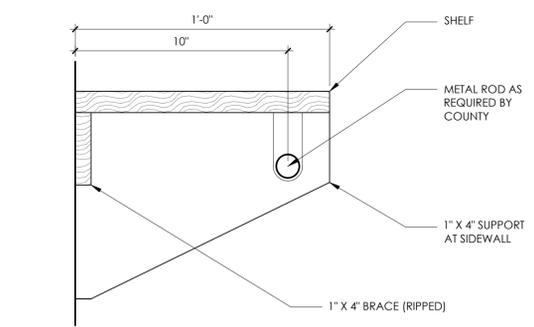
8 INTERIOR DOOR ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



10 WINDOW DETAILS
NOT TO SCALE



9 SHELF AND ROD
NOT TO SCALE



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WHALEHEAD, NC

REVISIONS:	DATE:
WINDOW COORD.	7 / 13 /16
CLIENT REVIEW	7 / 20 /16

DRAWING NAME:
DOOR AND WINDOW LEGENDS

PRELIMINARY DRAWINGS
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DATE: 7 / 20 /16

SCALE: -

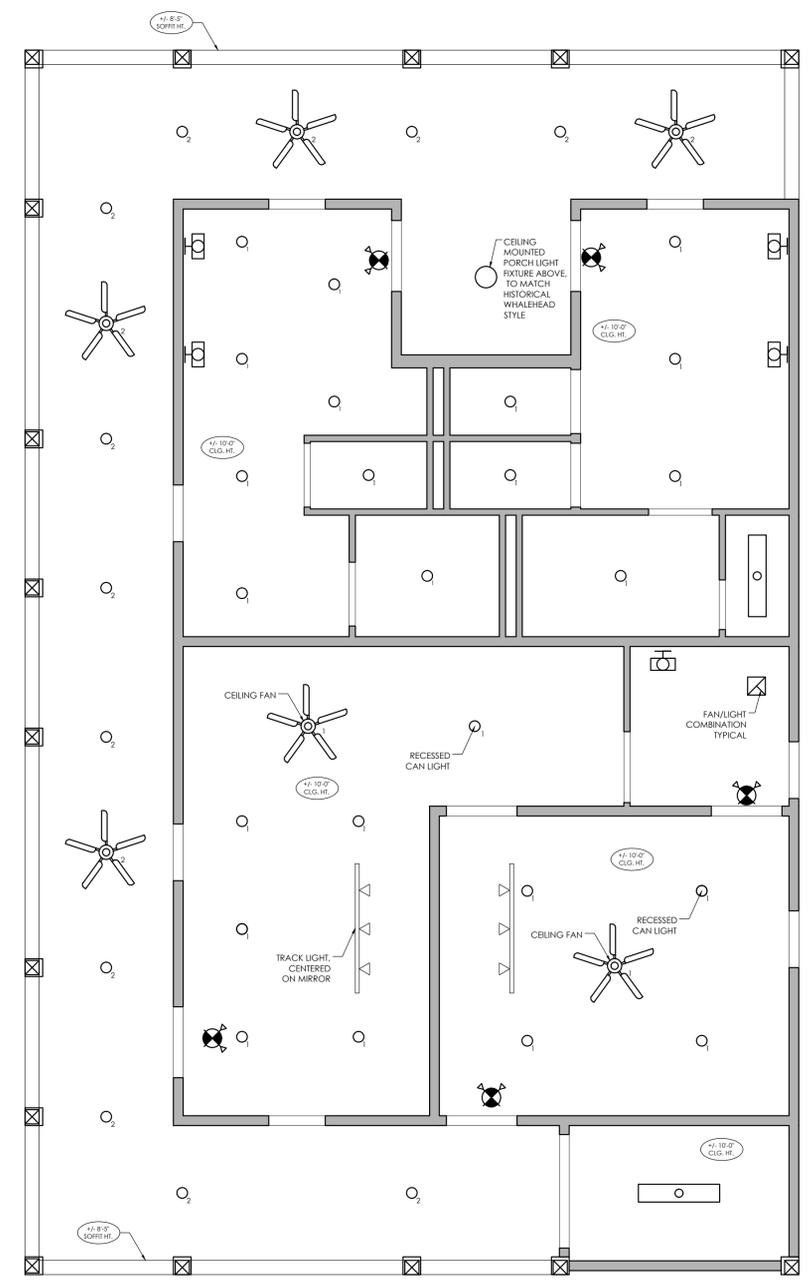
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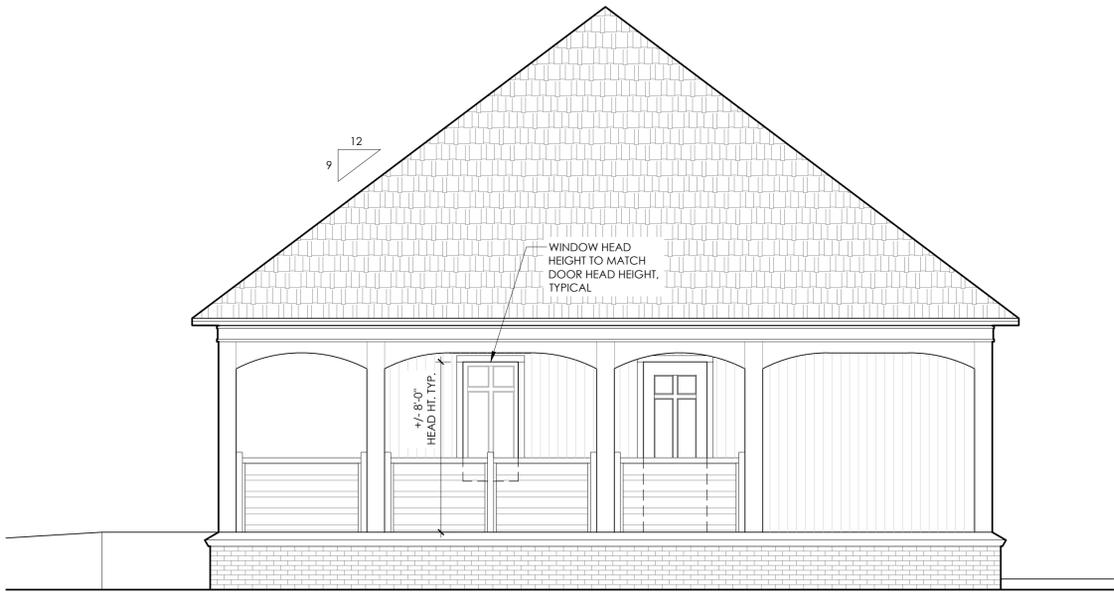
-  6" LED RECESSED CAN LIGHT
-  6" LED WET RATED (OUTDOOR) RECESSED CAN
-  INDOOR CEILING FAN (NOT LIGHT KIT)
-  OUTDOOR WET RATED CEILING FAN (NO LIGHT KIT)
-  OUTDOOR FLUSH CEILING MOUNTED LIGHT FIXTURE (WET RATED)
-  COMBO EXHAUST FAN W/ LIGHT
-  WALL MOUNTED BATHROOM LIGHT
-  1' X 4' FLUORESCENT CEILING MOUNTED LIGHT FIXTURE
-  LED TRACK LIGHT FIXTURE
-  EXIT LIGHT FIXTURE W/ EMERGENCY LIGHTING UNIT

2 LIGHTING LEGEND
 SCALE: 1/4" = 1'-0"

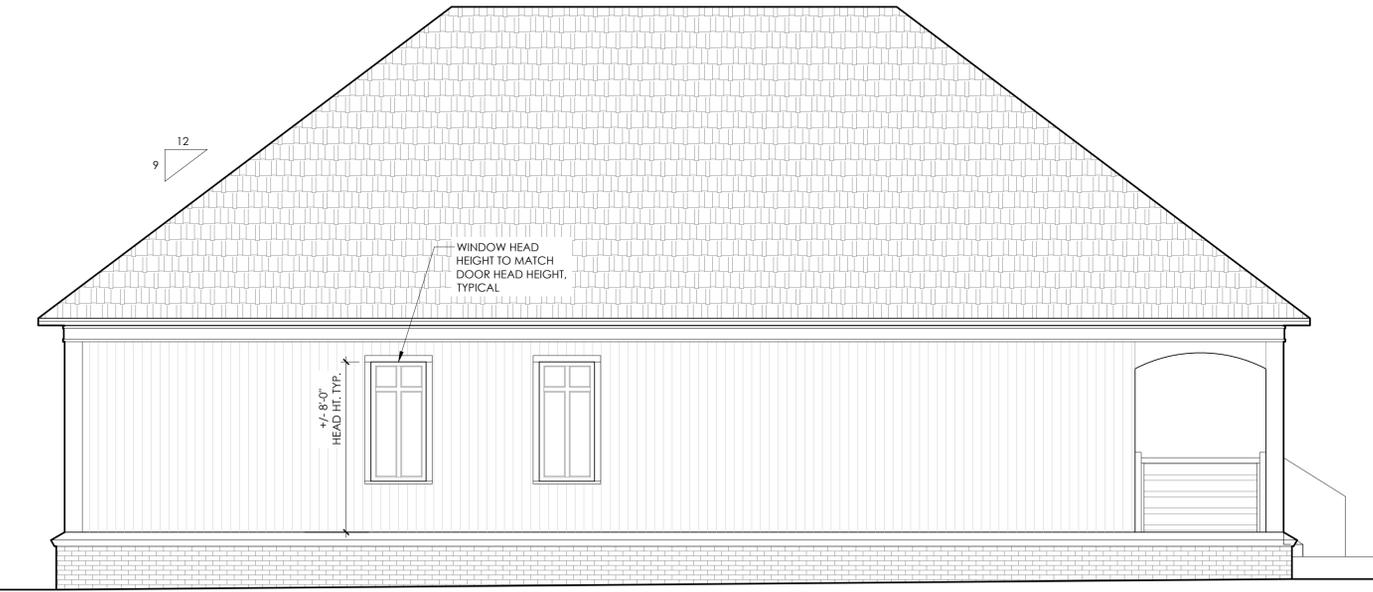
1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

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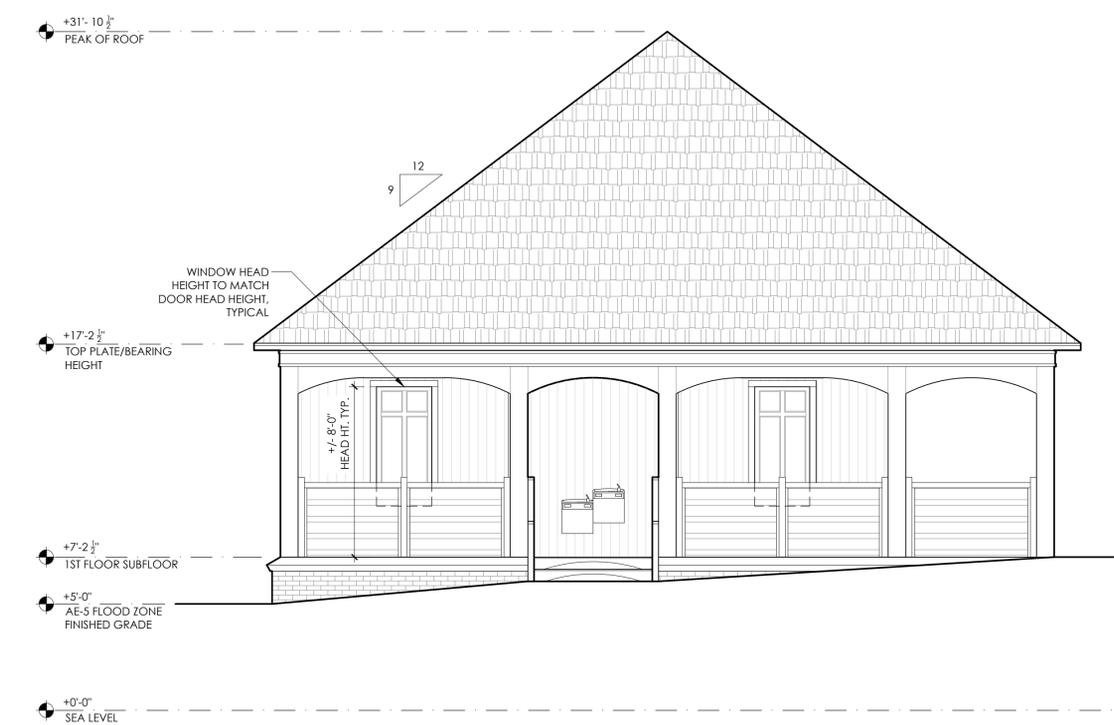
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1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



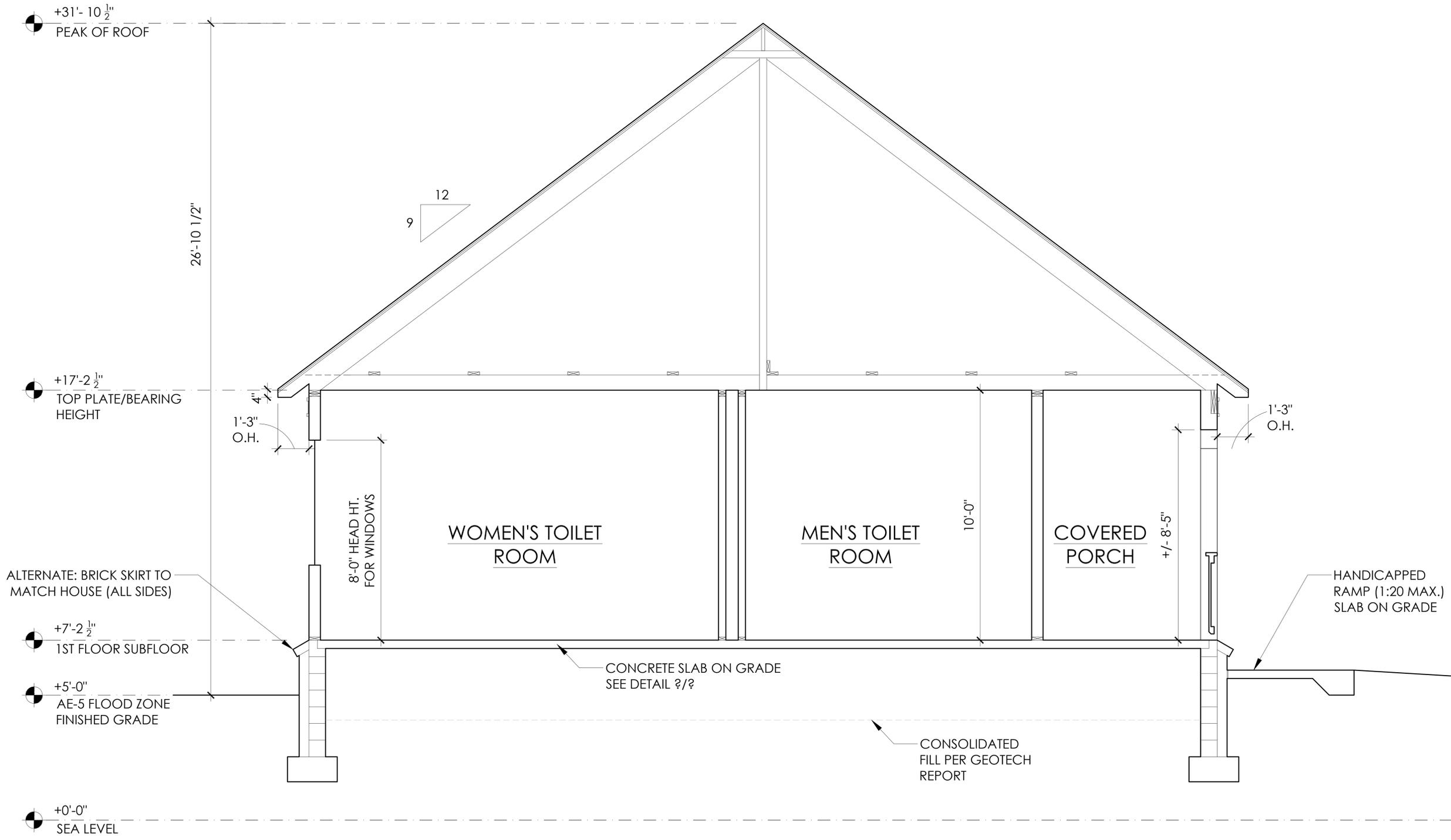
3 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

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1 BUILDING SECTION
 SCALE: 1/2" = 1'-0"

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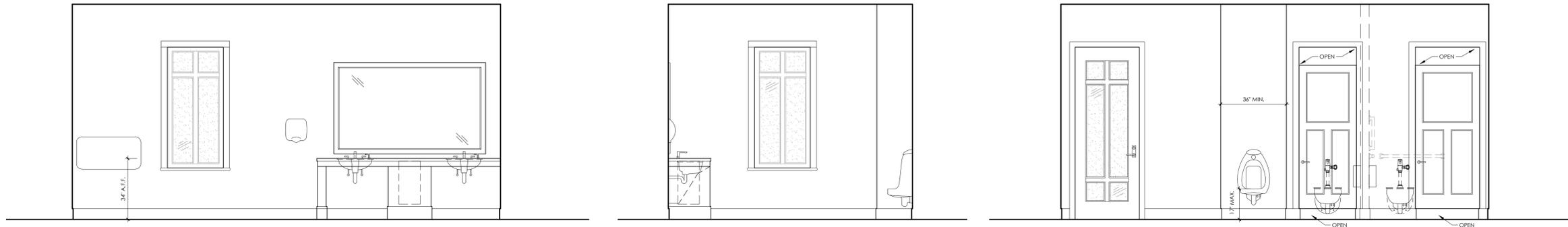
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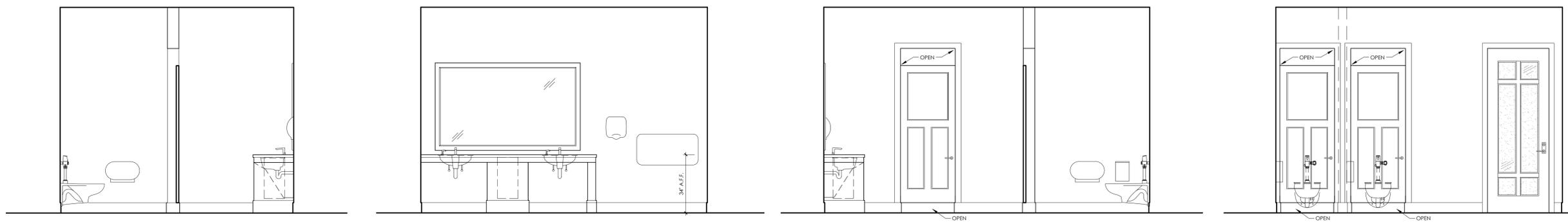
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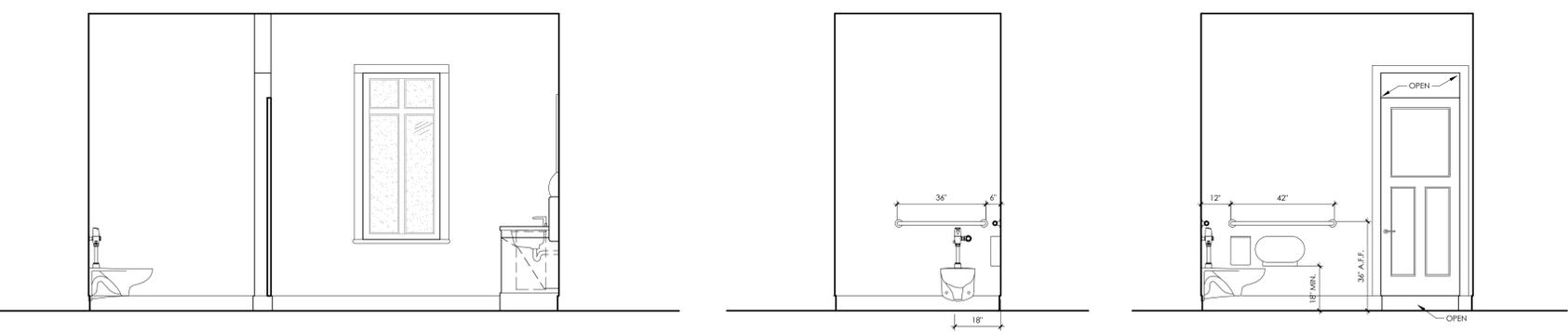


1 INTERIOR ELEVATIONS: MEN'S TOILET ROOM
 SCALE: 1/4" = 1'-0"



1 INTERIOR ELEVATIONS: MEN'S TOILET ROOM
 SCALE: 1/4" = 1'-0"

2 INTERIOR ELEVATIONS: WOMEN'S TOILET ROOM
 SCALE: 1/4" = 1'-0"

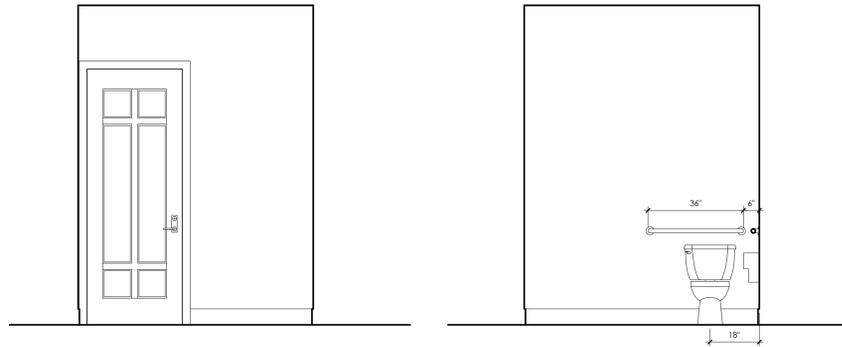


2 INTERIOR ELEVATIONS: WOMEN'S TOILET ROOM
 SCALE: 1/4" = 1'-0"

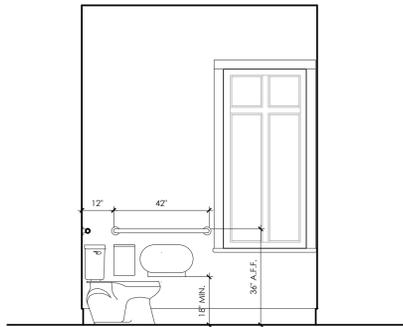
3 INTERIOR ELEVATIONS: WOMEN'S TOILET ROOM ADA STALL
 SCALE: 1/4" = 1'-0"

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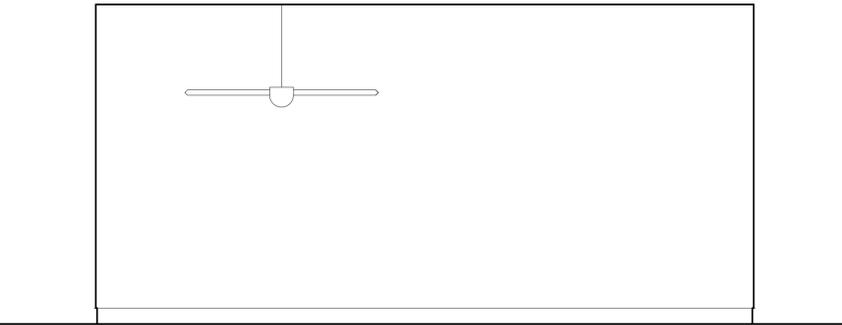
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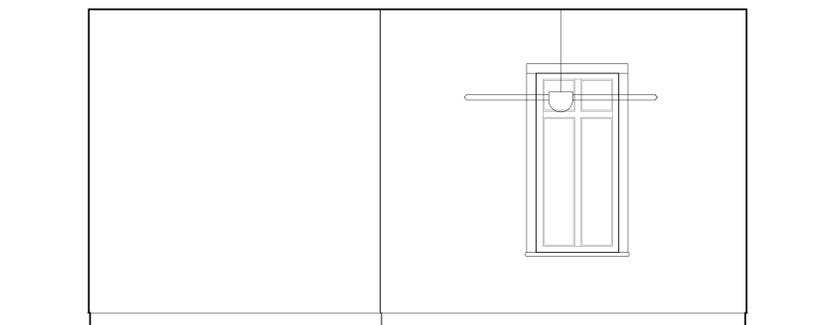
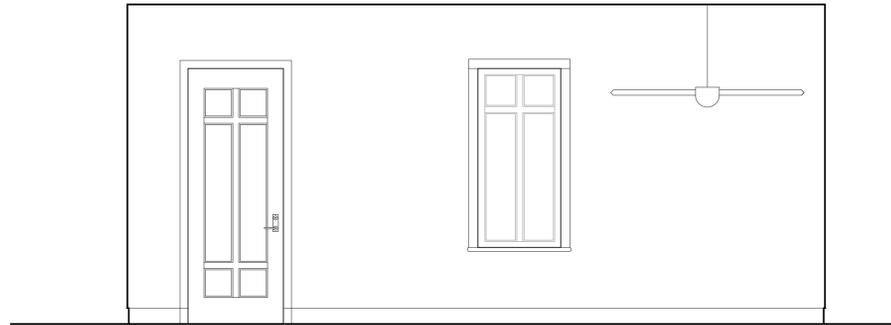
4 INTERIOR ELEVATIONS: UNISEX TOILET ROOM
 SCALE: 1/4" = 1'-0"



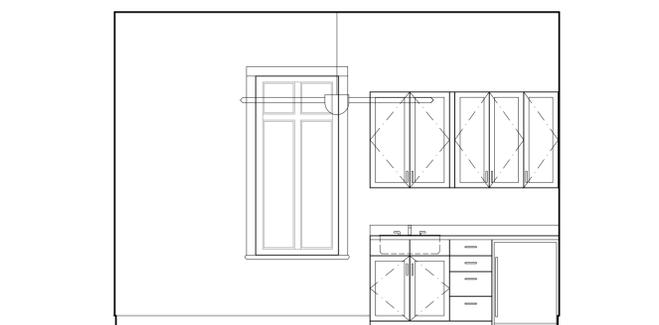
5 INTERIOR ELEVATIONS: DRESSING ROOM #1
 SCALE: 1/4" = 1'-0"



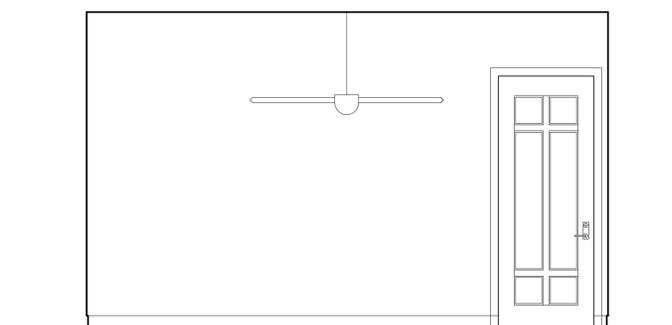
5 INTERIOR ELEVATIONS: DRESSING ROOM #1
 SCALE: 1/4" = 1'-0"

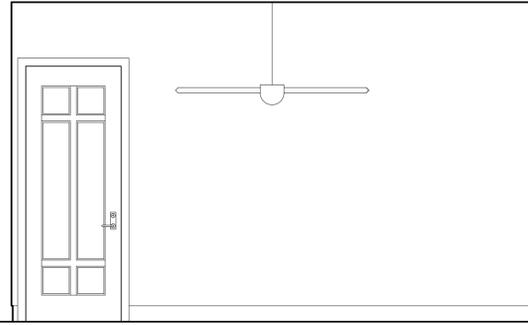
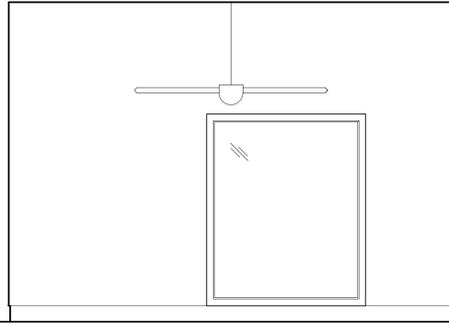


5 INTERIOR ELEVATIONS: DRESSING ROOM #1
 SCALE: 1/4" = 1'-0"



1 INTERIOR ELEVATIONS: DRESSING ROOM #2
 SCALE: 1/4" = 1'-0"





1 INTERIOR ELEVATIONS: DRESSING ROOM #2
SCALE: 1/4" = 1'-0"

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DRAWING NAME:
INTERIOR ELEVATIONS

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DATE: 7 / 20 /16

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