

GENERAL NOTES:

1. INSPECT AND VERIFY ALL DIMENSIONS ON THE PROJECT AND SITE AS MAY RELATE TO THE EXTENT OF CONSTRUCTION AND/OR DEMOLITION.
2. THE CONTRACTOR/OWNER SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS AS MAY BE REQUIRED TO PROCEED WITH DEMOLITION AND CONSTRUCTION.
3. ALL WORK PERFORMED SHALL MEET ALL TOWN, COUNTY AND STATE CODES.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL DOOR/WINDOW ROUGH OPENINGS WITH DOOR MFG. SPEC.
6. CONTRACTOR TO USE TEMPERED GLASS IN ANY WINDOW OR DOOR THAT IS WITHIN 18" OF THE FINISHED FLOOR.
7. ALL BEDROOMS TO HAVE A MINIMUM OF ONE WINDOW OR DOOR MEETING THE NORTH CAROLINA EGRESS CODE REQUIREMENTS. CONTRACTOR TO VERIFY.
8. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND MECHANICAL WORK. ALL SUCH WORK MUST CONFORM TO NORTH CAROLINA CODES.
9. CONTRACTOR TO CONFIRM PLAN DIMENSIONS PRIOR TO CONSTRUCTION WITH EXISTING SITE CONSTRAINTS. CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT OF ANY PROBLEMS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL MANUALS AND MAINTENENCE INFORMATION BEFORE THE FINAL PAYMENT. THE CONTRACTOR SHALL WARRANTY THE WORK FOR THE PERIOD OF ONE YEAR.

DEMOLITION NOTES:

1. WHERE EXISTING WALLS, FLOORS, COLUMNS, CABINETS, COUNTERS, DOOR FRAMES, CEILINGS, DUCTWORK, ELECTRICAL DEVICES, PLUMBING FIXTURES AND RELATED PIPING HAVE BEEN REMOVED. CONTRACTOR TO PATCH DAMAGED SURFACES TO MATCH ADJOINING SURFACES THAT WILL REMAIN EXPOSED.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL OF ALL DEMOLITION DEBRIS FROM THE SITE.
3. REMOVE ONLY THOSE MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS IN AFFECTED AREAS.
4. DO NOT UNDERMINE EXISTING STRUCTURE

PROJECT NAME:
**COROLLA
 MIXED USE**
 COROLLA LIGHT
 PHASE 2, SHAD ST.
 POPLAR BRANCH, NC

REVISIONS:	DATE:
CLIENT REVIEW	4 / 17 / 13
ISSUED FOR CONST.	4 / 19 / 13
CLIENT REVIEW	7 / 18 / 16
CLIENT REVIEW	7 / 19 / 16

DRAWING NAME:
**BUILDING
 PLANS**

DRAWN BY: CN

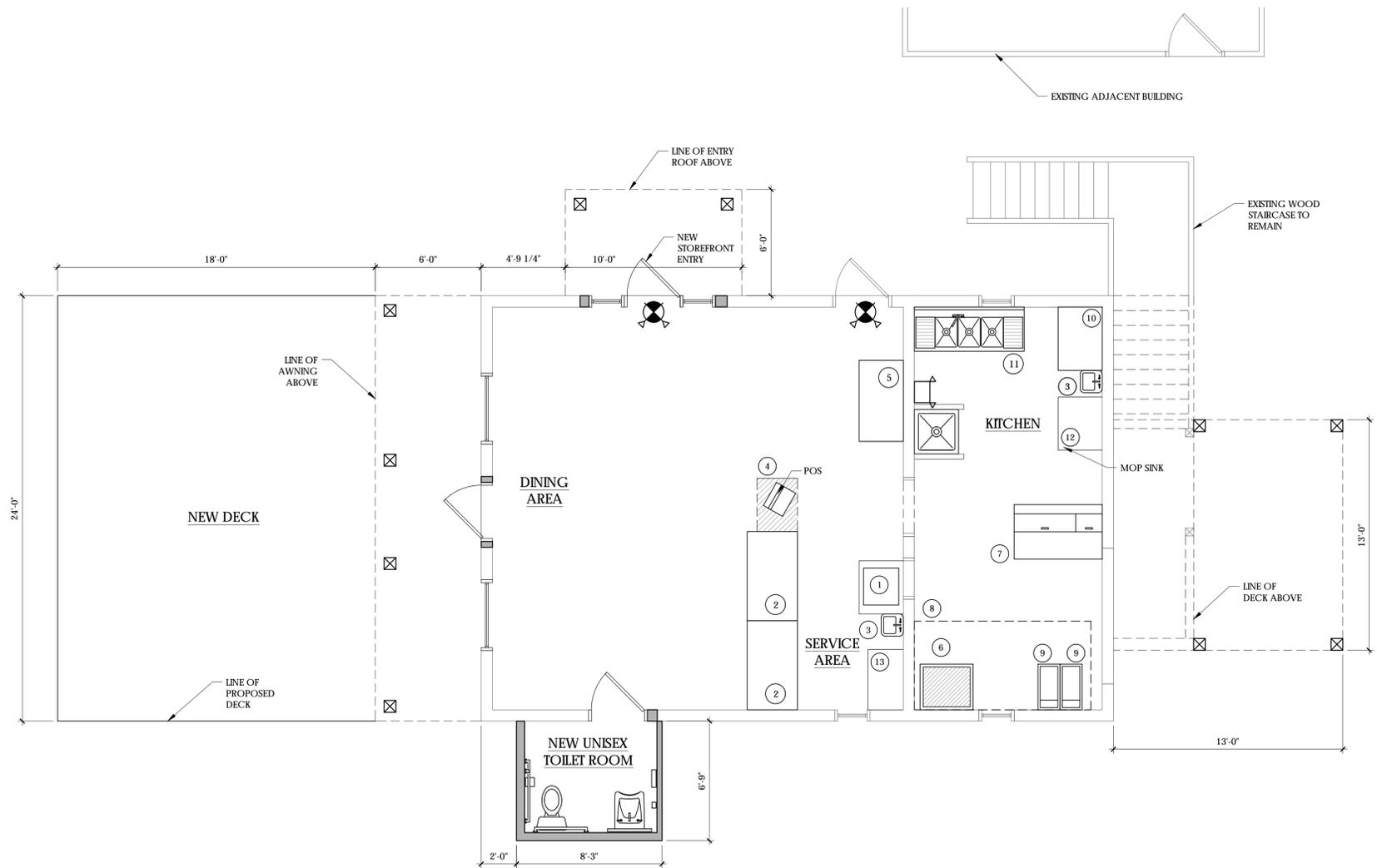
DATE: 7 / 19 / 16

SCALE: -

STAMP:

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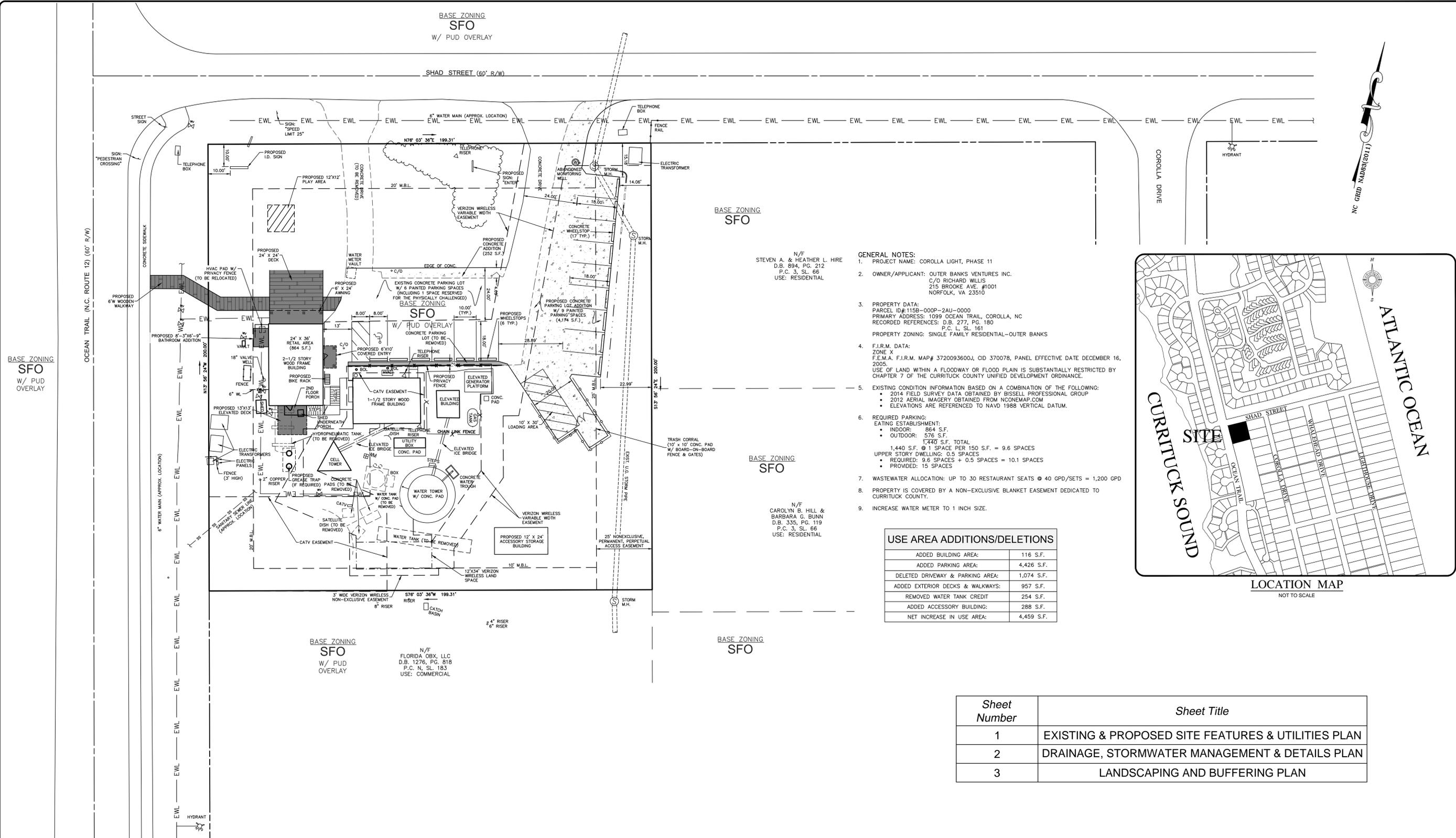
SHEET:
A1.1



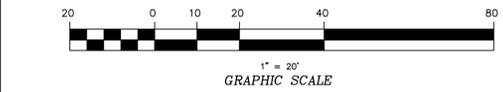
- 1 SODA FOUNTAIN MACHINE: 25"W X 33"D
- 2 REFRIGERATED SANDWICH UNIT (2 DOOR)
- 3 HAND SINK
- 4 POS SYSTEM
- 5 REACH-IN REFRIGERATOR - 55"W X 30"D (BEER)
- 6 GRILL: 36"W X 31"D
- 7 SANDWICH/PREP CASE: 60"W X 37"D
- 8 HOOD VENT: 120"W X 60"D
- 9 FRYER: 16"W X 31"D
- 10 LOW-TEMP DISHWASHER: 43"W X 30"D
- 11 3 COMPARTMENT SINK WITH DRAIN BOARDS- 74½" X 30"
- 12 SHELVING FOR SODA BOXES
- 13 STAINLESS STEEL COUNTER FOR SUPPLIES

1 FIRST FLOOR PLAN
 SCALE: ¼" = 1'-0"

2 EQUIPMENT LEGEND
 NOT TO SCALE



BASE ZONING
SFO
W/ PUD
OVERLAY



BASE ZONING
SFO

N/F
STEVEN A. & HEATHER L. HIRE
D.B. 894, PG. 212
P.C. 3, SL. 66
USE: RESIDENTIAL

- GENERAL NOTES:**
- PROJECT NAME: COROLLA LIGHT, PHASE 11
 - OWNER/APPLICANT: OUTER BANKS VENTURES INC.
C/O RICHARD WILLIS
215 BROOKE AVE. #1001
NORFOLK, VA 23510
 - PROPERTY DATA:
PARCEL ID#: 115B-000P-2AU-0000
PRIMARY ADDRESS: 1099 OCEAN TRAIL, COROLLA, NC
RECORDED REFERENCES: D.B. 277, PG. 180
P.C. L, SL. 161
PROPERTY ZONING: SINGLE FAMILY RESIDENTIAL-OUTER BANKS
 - F.I.R.M. DATA:
ZONE X
F.E.M.A. F.I.R.M. MAP# 3720093600J, CID 370078, PANEL EFFECTIVE DATE DECEMBER 16, 2005.
USE OF LAND WITHIN A FLOODWAY OR FLOOD PLAIN IS SUBSTANTIALLY RESTRICTED BY CHAPTER 7 OF THE CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - EXISTING CONDITION INFORMATION BASED ON A COMBINATION OF THE FOLLOWING:
 - 2014 FIELD SURVEY DATA OBTAINED BY BISSELL PROFESSIONAL GROUP
 - 2012 AERIAL IMAGERY OBTAINED FROM NCONEMAP.COM
 - ELEVATIONS ARE REFERENCED TO NAVD 1988 VERTICAL DATUM.
 - REQUIRED PARKING:
EATING ESTABLISHMENT:
 - INDOOR: 864 S.F.
 - OUTDOOR: 576 S.F.
 - TOTAL: 1,440 S.F.
 - 1,440 S.F. @ 1 SPACE PER 150 S.F. = 9.6 SPACES
 UPPER STORY DWELLING: 0.5 SPACES
 REQUIRED: 9.6 SPACES + 0.5 SPACES = 10.1 SPACES
 PROVIDED: 15 SPACES
 - WASTEWATER ALLOCATION: UP TO 30 RESTAURANT SEATS @ 40 GPD/SETS = 1,200 GPD
 - PROPERTY IS COVERED BY A NON-EXCLUSIVE BLANKET EASEMENT DEDICATED TO CURRITUCK COUNTY.
 - INCREASE WATER METER TO 1 INCH SIZE.

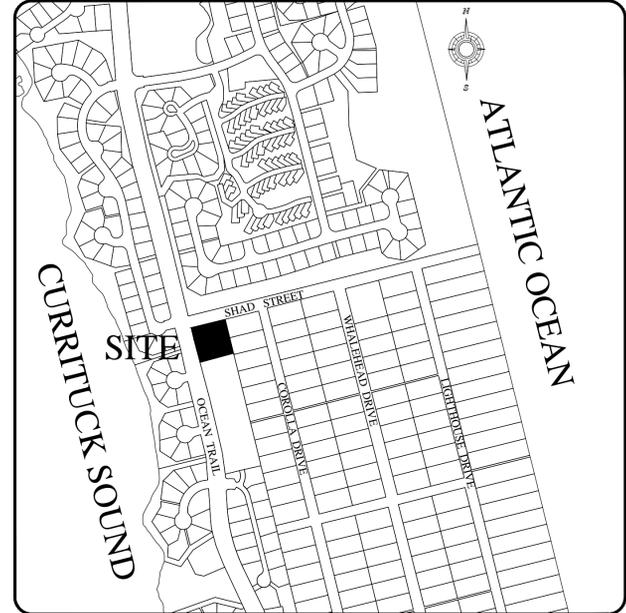
USE AREA ADDITIONS/DELETIONS

ADDED BUILDING AREA:	116 S.F.
ADDED PARKING AREA:	4,426 S.F.
DELETED DRIVEWAY & PARKING AREA:	1,074 S.F.
ADDED EXTERIOR DECKS & WALKWAYS:	957 S.F.
REMOVED WATER TANK CREDIT:	254 S.F.
ADDED ACCESSORY BUILDING:	288 S.F.
NET INCREASE IN USE AREA:	4,459 S.F.

BASE ZONING
SFO

BASE ZONING
SFO
W/ PUD
OVERLAY

N/F
FLORIDA OBX, LLC
D.B. 1276, PG. 818
P.C. N, SL. 18.3
USE: COMMERCIAL



LOCATION MAP
NOT TO SCALE

Sheet Number	Sheet Title
1	EXISTING & PROPOSED SITE FEATURES & UTILITIES PLAN
2	DRAINAGE, STORMWATER MANAGEMENT & DETAILS PLAN
3	LANDSCAPING AND BUFFERING PLAN

Bissell Professional Group
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FAX (252) 761-1760

BISSELL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
and Environmental Specialists

**EXISTING & PROPOSED SITE
FEATURES AND UTILITIES PLAN**

PROJECT: OUTER BANKS VENTURES
NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP

COMMERCIAL SITE PLAN

NO.	DATE	DESCRIPTION	BY	CHK
1	06/08/16	FOR ARCHITECTURAL PLANS		

**PRELIMINARY
DO NOT USE FOR
CONSTRUCTION**

DATE:	06/08/16	SCALE:	1" = 20'
DESIGNED:	BPG	CHECKED:	MSB
DRAWN:	KFW	APPROVED:	BPG

SHEET: **1** OF **3**

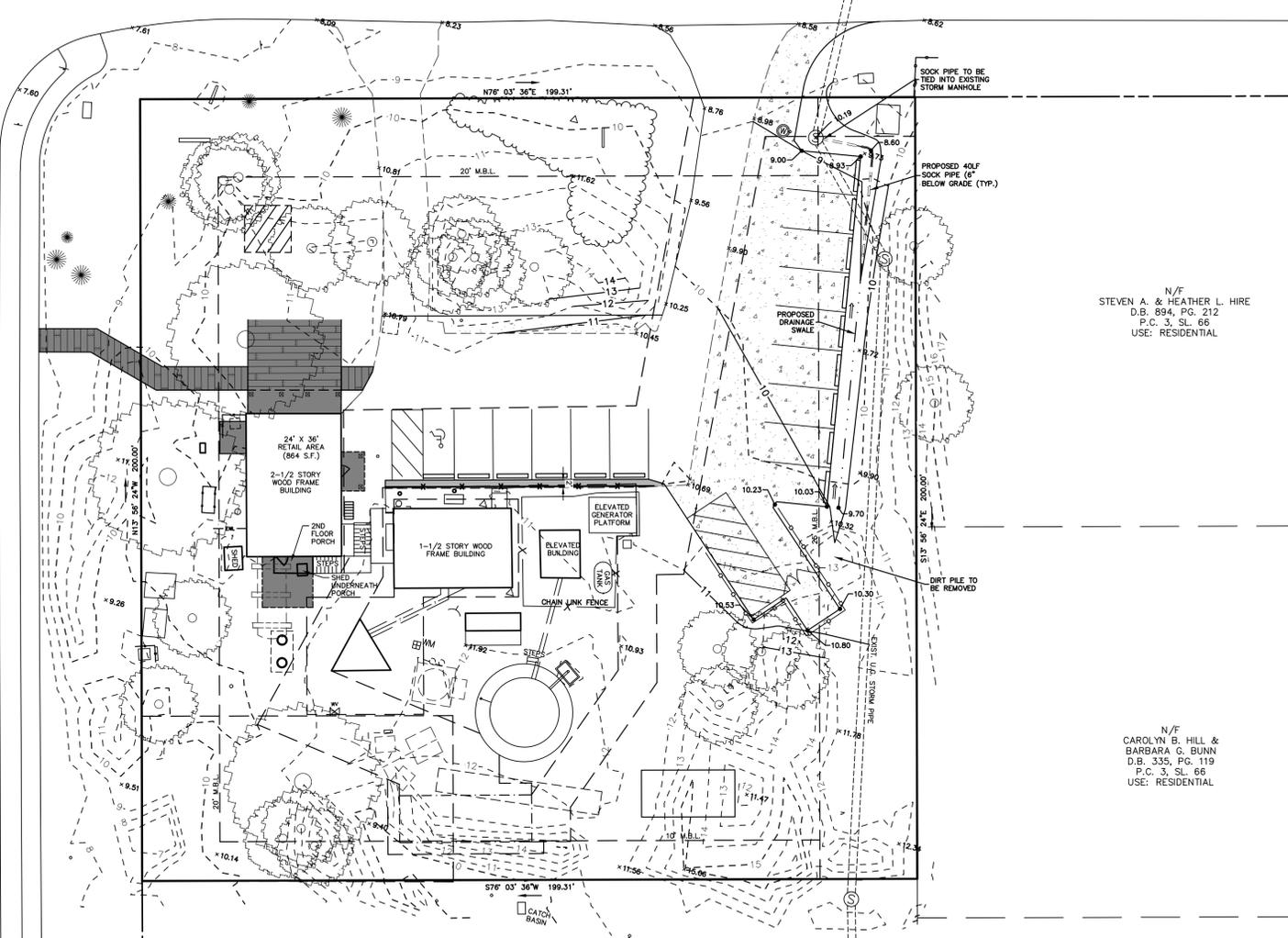
CAD FILE: 460800B1
PROJECT NO: 4608

LEGEND	
	ROADWAY CENTERLINE
	RIGHT-OF-WAY
	PROPERTY BOUNDARY
	PROPOSED SWALE W/ FLOW ARROW
	EXISTING GRADE CONTOUR
	PROPOSED GRADE CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EXISTING CULVERT



OCEAN TRAIL (N.C. ROUTE 12) (60' R/W)

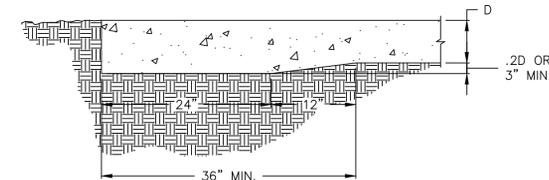
SHAD STREET (60' R/W)



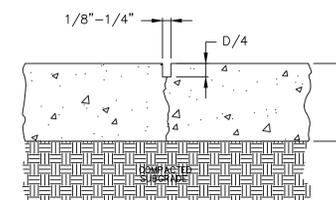
N/F
STEVEN A. & HEATHER L. HIRE
D.B. 894, PG. 212
P.C. 3, SL. 66
USE: RESIDENTIAL

N/F
CAROLYN B. HILL &
BARBARA G. BUNN
D.B. 335, PG. 119
P.C. 3, SL. 66
USE: RESIDENTIAL

N/F
FLORIDA OBX, LLC
D.B. 1276, PG. 818
P.C. N, SL. 18.3
USE: COMMERCIAL



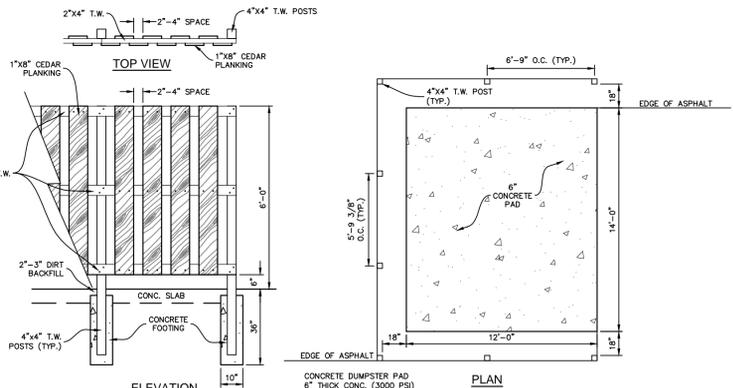
CONVENTIONAL CONCRETE THICKENED EDGE DETAIL
NOT TO SCALE SECTION VIEW



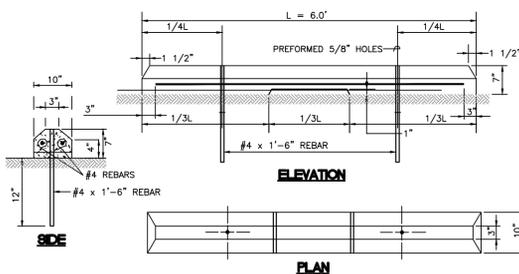
CONCRETE PAVEMENT W/ CONTROL JOINT DETAIL
NOT TO SCALE SECTION VIEW

NOTES:
MINIMUM PAVEMENT THICKNESS (D) = 6" W/6x6-W2.9 x W2.9 WWF REINFORCEMENT, PLACE 2" BELOW TOP OF SLAB
UNDOWELED TRANSVERSE CONTRACTION OR LONGITUDINAL JOINT, SAWED OR PRE-MOLDED. DO NOT DOWEL PAVEMENTS LESS THAN 7" THICK.

- CONVENTIONAL CONCRETE SPECIFICATIONS:**
- USE ACI CERTIFIED FLATWORK FINISHER
 - USE ACI 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS
 - USE ACI 330.1-94 STANDARD SPECIFICATION FOR PLAIN CONCRETE PARKING LOTS
 - ALL CONCRETE USED IN PARKING LOT, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.
 - PREPARE THE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR RIGID PAVEMENTS. SUBGRADE SOIL DENSITY TESTING MUST BE COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT
 - IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1/2" IN DIAMETER IN ORDER TO ACHIEVE ADEQUATE COMPACTION AROUND ANY FIXED OBJECT IN GROUND. ALTERNATE WILL BE TO USE FLOWABLE FILL
 - KEEP ALL JOINTS CONTINUOUS WITH A MAXIMUM JOINT SPACING OF 10 FT.
 - CONTROL JOINTS SHALL BE FORMED OR SAWED WITHIN 12 HOURS FROM TIME OF PLACEMENT:
 - SIDEWALK-SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET IN LENGTH
 - PAVEMENT-MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. 1+4 INCH SPACING AT 10'X10')
 - CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PIGMENTED WATER-BASED CURING COMPOUND OR VISQUEEN AND BURLAP
 - SITE PREPARATION AND CONSTRUCTION OF ALL FOUNDATIONS, GROUND SLABS, AND PAVEMENTS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY A GEOTECHNICAL ENGINEER



CONCRETE DUMPSTER PAD W/ BOARD ENCLOSURE
NO SCALE



PRE-CAST CONCRETE PARKING STOP
NOT TO SCALE



GRAPHIC SCALE

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BISSELL
PROFESSIONAL GROUP
Engineers, Planners, Surveyors
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PROJECT:
OUTER BANKS VENTURES
NORTH CAROLINA
CURRITUCK COUNTY
POPLAR BRANCH TOWNSHIP
DRAINAGE, STORMWATER
MANAGEMENT & DETAILS PLAN
COMMERCIAL SITE PLAN

NO.	DATE	DESCRIPTION	BY	CHK.
1	5/27/2014	FOR ARCHITECTURAL PLANS		

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06/08/16	1" = 20'
DESIGNED: BPG	CHECKED: MSB
DRAWN: KFW	APPROVED: BPG
SHEET: 2	OF 3
CAD FILE: 460800B1	
PROJECT NO: 4608	

