

VICINITY MAP
NTS

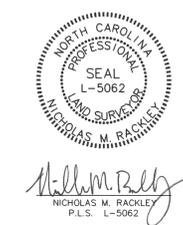


NOW OR FORMERLY
NEWBORN
W.B. 11-E-197
(NO ADDRESS PER GIS AS OF THIS DATE)
ZONING: AGRICULTURAL

I, NICHOLAS M. RACKLEY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM THE DEED DESCRIPTION RECORDED IN D.B. 1159, PG. 32; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THIS MAP WAS PREPARED IN ACCORDANCE WITH BOARD RULES 21 NCAC 56.1604 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 27TH DAY OF JULY, 2016.

I, NICHOLAS M. RACKLEY PLS-5062, CERTIFY.

F(1) C. THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.



William M. Rely
NICHOLAS M. RACKLEY
P.L.S. L-5062

SITE DATA:

1. OWNERSHIP:
NATHAN & AMY SPENCER
JACK & CAROL MEADS
P.O. BOX 389
POWELLS POINT, NC 27966

CONTRACTOR:
COOPER QUALITY CONSTRUCTION, INC
C/O JOHN COOPER
119 COOPER LANDING DRIVE
ATLETT, NC 27916
PHONE: 252-453-8785
COOPERQUALITY@YAHOO.COM

2. PIN: 123E-000-0023-0000

REFERENCE:
D.B. 1159, PG. 32
P.C. 1, SLD. 279
"CURRITUCK INDUSTRIAL PARK"

TRACT AREA: 0.929 AC.
ADDRESS: 135 GREYSON LOOP
POWELLS POINT, NC 27966

CURRENT ZONING: LIGHT INDUSTRIAL
BUILDING SETBACKS: FRONT = 20'
SIDE = 15'
REAR = 25'

3. THIS SITE IS LOCATED IN FLOOD ZONE "X" AS SHOWN ON F.I.R.M. MAP 1720983800J, EFFECTIVE DATE: DECEMBER 15, 2005. FLOOD ZONES ARE SUBJECT TO CHANGE BY FEMA.

4. THERE ARE NO WETLANDS WITHIN THE PROPOSED IMPROVEMENT AREA.

5. EXISTING UTILITIES ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE. EXISTING UTILITIES MUST BE FIELD LOCATED BY THE CONTRACTOR.

6. TREES SHALL BE RETAINED PER UDO SECTION 5.2.

7. PROPOSED IMPERVIOUS COVERAGE = 10,850 SF (DIFFERENT THAN APPLICATION)
TOTAL DISTURBED AREA = 0.929 AC.
(PROPOSED IMPERVIOUS COVERAGE = 26%)

8. ANY EXCAVATED MATERIAL REMOVED FROM SITE MUST BE TRANSPORTED TO AN APPROVED LOCATION. ANY FILL MATERIAL TRANSPORTED TO SITE MUST BE FROM AN APPROVED LOCATION.

9. SOILS PRESENT IN THIS SITE ARE C-1A (CONETOE LOAMY SAND)

10. THE PROPOSED BUILDING WILL HAVE NO SEPTIC, HVAC OR WATER SERVICES AT THIS TIME.

11. LIGHTING REQUIREMENTS:
SITE LIGHTING
LIGHTS SHOWN HERE ON ARE FULLY SHIELDED WALL PACK LIGHTS HAVING A MAXIMUM 100 WATTS AND MOUNTED NO HIGHER THAN 25' ABOVE GRADE. LIGHTS ARE NOT TO BE VISIBLE FROM OFF SITE PROPERTIES.
PRIOR TO FINAL CERTIFICATE OF OCCUPANCY MAXIMUM ILLUMINATION LEVELS AT GROUND LEVEL/PROPERTY LINE MUST NOT EXCEED 1 FOOTCANDLE.

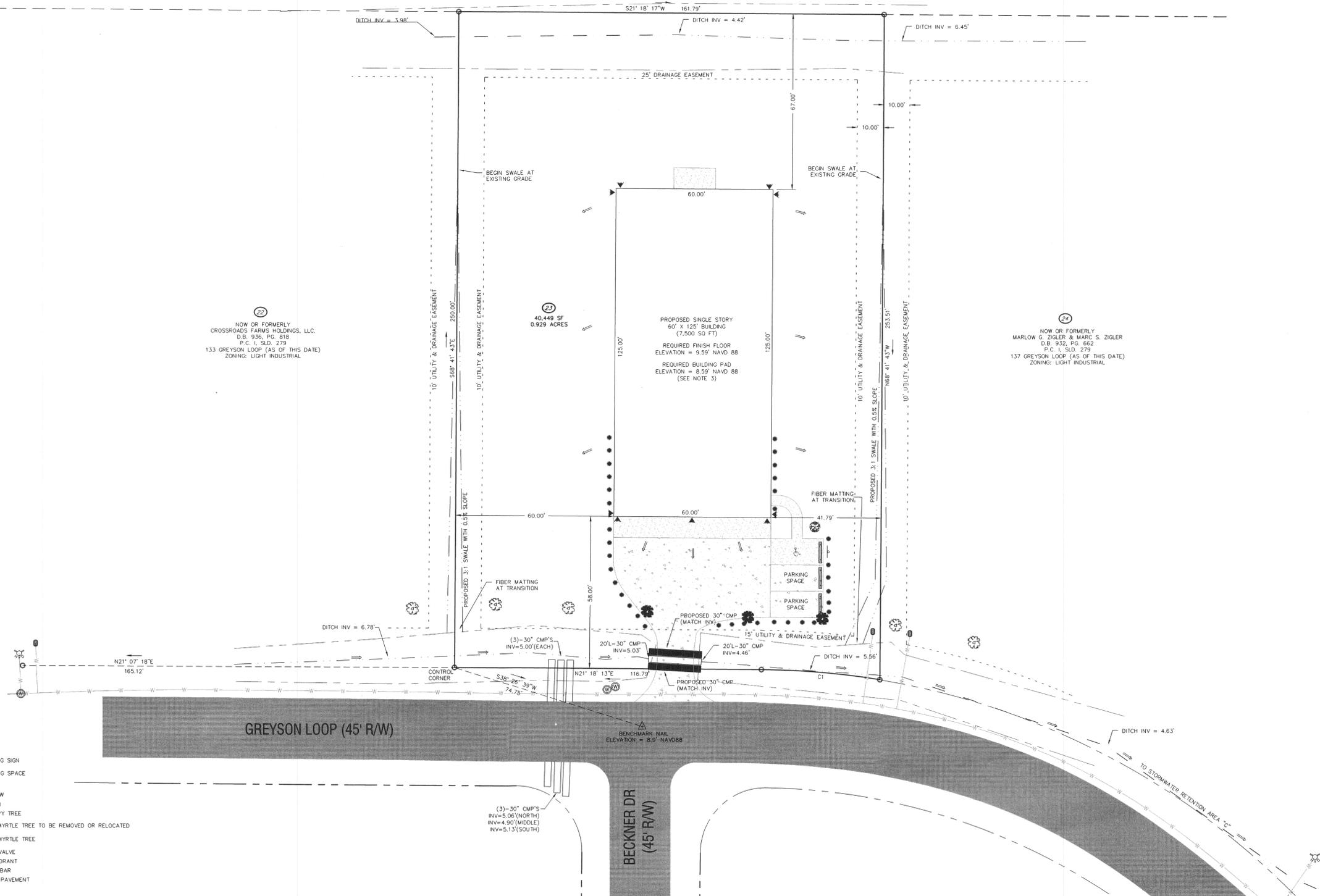
12. LANDSCAPING REQUIREMENTS:
SITE LANDSCAPING
REQUIRED - 2 CALIPER INCHES OF CANOPY TREES PER ACRE PLUS 1 SHRUB PER 5' OF BUILDING FRONTAGE FACING THE BUILDING.
0.929 ACRES X 2 = 1.85 CALIPER INCHES OF CANOPY TREES
60' OF BUILDING FRONTAGE = 12 SHRUBS

VEHICULAR USE
1 EVERGREEN SHRUB THAT WILL REACH A HEIGHT OF 3 FEET WITHIN 3 YEARS OR SIMILAR BEACH GRASS SPACED ON 5' CENTER PLUS 1 CANOPY TREE NO FURTHER THAN 60' FROM ANY PARKING SPACE.

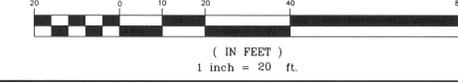
13. PARKING REQUIREMENTS = 1 SPACE PER EVERY 2,500 SF (7,500 SF = 3 PARKING SPACES)

LEGEND

- SECURITY LIGHT
- WATER METER
- HANDICAP PARKING SIGN
- HANDICAP PARKING SPACE
- PARKING BUMPER
- STORMWATER FLOW
- PROPOSED SHRUB
- PROPOSED CANOPY TREE
- EXISTING CREPE MYRTLE TREE TO BE REMOVED OR RELOCATED
- EXISTING CREPE MYRTLE TREE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING IRON REBAR
- EXISTING NAIL IN PAVEMENT
- PROPERTY LINE
- PROPERTY EXTENSION
- RIGHT OF WAY LINE
- PROPERTY TIE LINE
- DRAINAGE EASEMENT
- PROPOSED SWALE TOP OF BANK
- EXISTING DITCH CENTERLINE
- EXISTING DITCH TOP OF BANK
- APPROXIMATE WATERLINE LOCATION (SIZE UNKNOWN)
- EXISTING PAVEMENT
- PROPOSED CONCRETE
- PROPOSED GRAVEL



GRAPHIC SCALE



CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING
C1	45.18'	290.00'	22.64'	8°55'35"	N25° 46' 04"E
					45.13'

- NOTES:**
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
 - AREA COMPUTED BY USING COORDINATE METHOD.
 - ORIGINAL VERTICAL DATUM OF CURRITUCK INDUSTRIAL PARK IS NAVD 29. ALL ELEVATIONS SHOWN HEREON ARE NAVD 85. THE CONVERSION FROM NAVD88 TO NAVD29 IS 0.91(+).

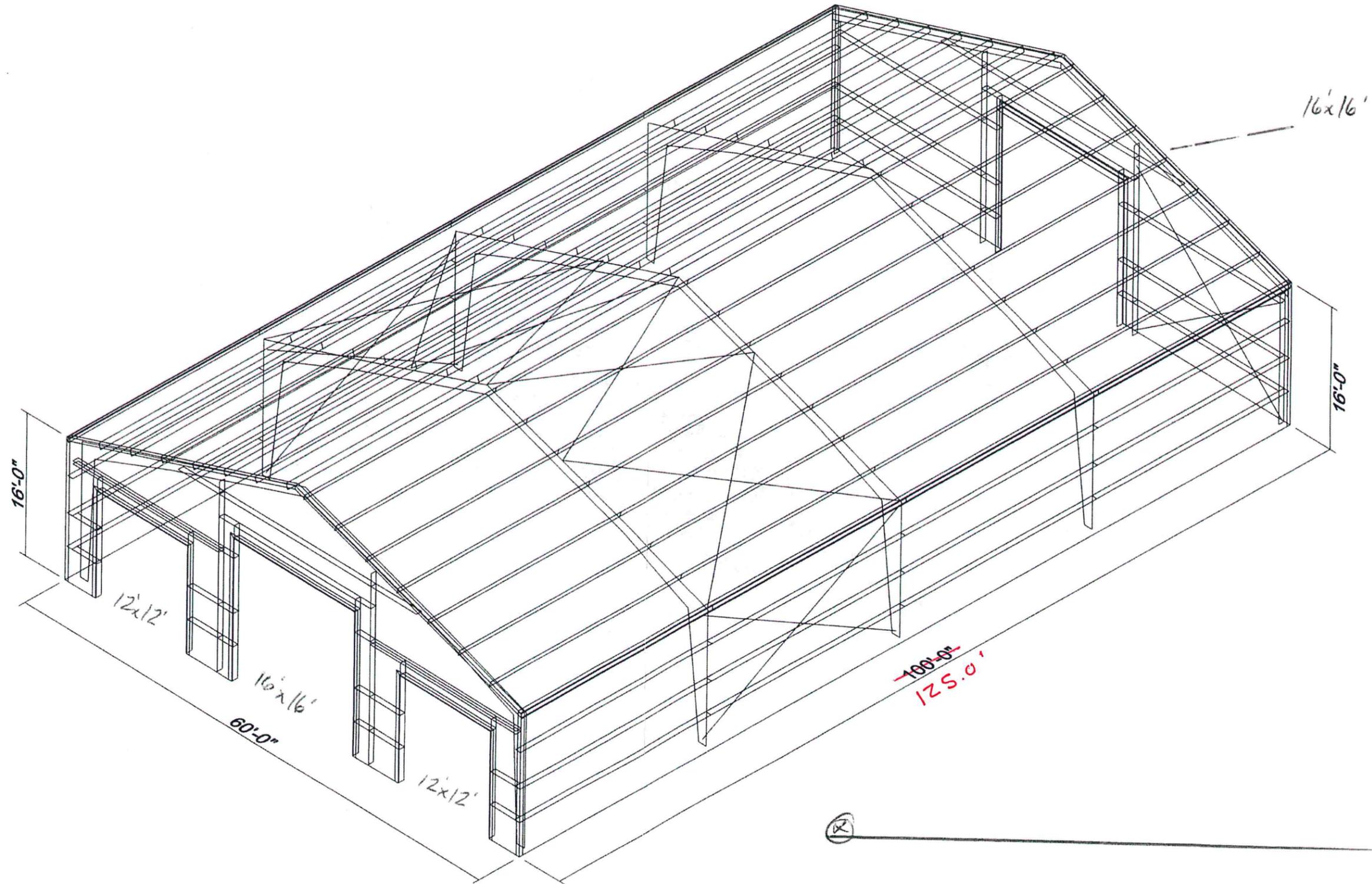
REVISIONS:

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DRAWING NO. 16-564
DATE: 07/27/2016
CHECKED BY: NMR
APPROVED: NMR
SHEET # 1 OF 10
SCALE: 1" = 20'
PROJECT #: 16-564

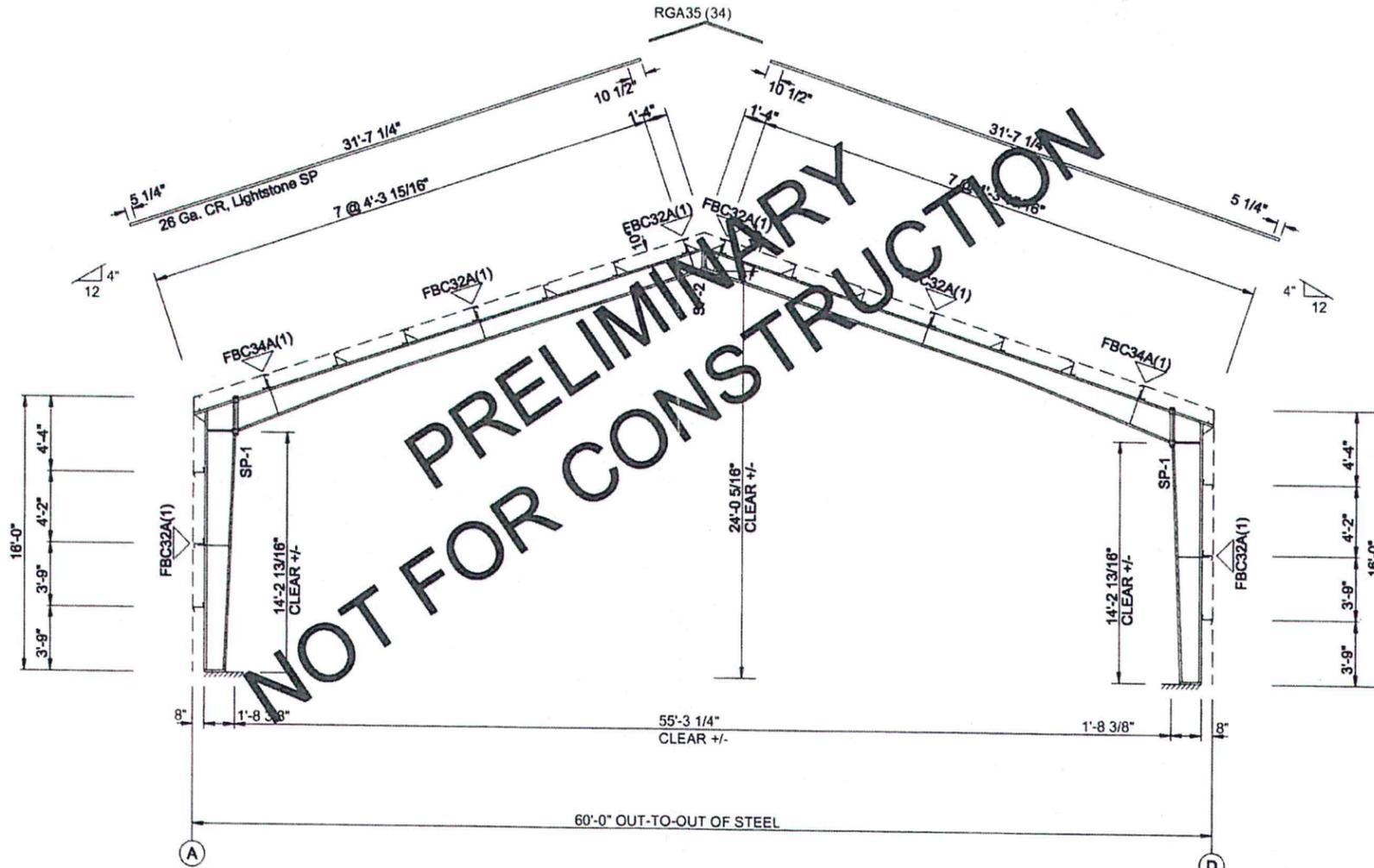
MAJOR SITE PLAN
 COOPER QUALITY CONSTRUCTION, INC. (CONTRACTOR)
 NATHAN SPENCER, AMY SPENCER, JACK MEADS, & CAROL MEADS (OWNERS)
 POPLAR BRANCH TOWNSHIP, CURRITUCK COUNTY, NORTH CAROLINA
 BEING LOT 23 OF CURRITUCK INDUSTRIAL PARK AS RECORDED IN PLAT CABINET 1, SLIDE 279
 JULY 27, 2016

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SPLICE PLATE & BOLT TABLE

Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	0.625	2.25	6"	1/2"	2'-2 1/2"
SP-2	4	4	0	A325	0.625	2.25	6"	3/8"	1'-7 1/8"



RIGID FRAME ELEVATION: FRAME LINE 1

THE CLEAR HEIGHTS SHOWN ABOVE ARE "ESTIMATED" CLEAR HEIGHTS AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN.

PEAK STEEL BUILDINGS
 SpencerNathan
 Customer_Name
 Project_Name
 Jobsite_Address
 27966